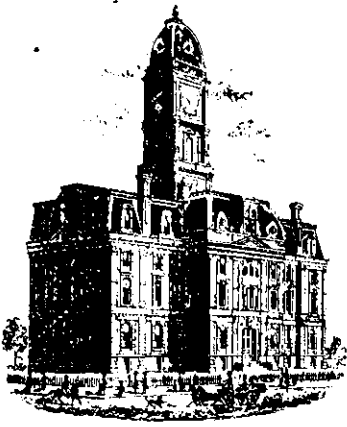


Drain: Pebble Brook **Drain #:** 191
Improvement/Arm: Ashfield Estates
Operator: slm **Date:** 6-10-2004
Drain Classification: Urban/Rural **Year Installed:** 2002

GIS Drain Input Checklist

- Pull Source Documents for Scanning slm 6-10-2004
- Digitize & Attribute Tile Drains slm ✓
- Digitize & Attribute Storm Drains slm ✓
- Digitize & Attribute SSD slm ✓
- Digitize & Attribute Open Ditch N/A
- Stamp Plans slm 10-27-04
- Sum drain lengths & Validate slm
- Enter Improvements into Posse slm
- Enter Drain Age into Posse slm
- Sum drain length for Watershed in Posse slm
- Check Database entries for errors slm



SURVEYOR'S OFFICE

Hamilton County

Kenton C. Ward, Surveyor

Phone (317) 776-8495

Fax (317) 776-9628

Suite 188

*One Hamilton County Square
Noblesville, Indiana 46060-2230*

August 12, 2002

To: Hamilton County Drainage Board

Re: Pebble Brook Drain, Ashfield Arm

Attached is a petition, non-enforcement request, plans, calculations, quantity summary and assessment roll for the Ashfield Arm, Pebble Brook Drain. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable; will improve the public health; benefit a public highway and be of public utility; and that the costs, damages, and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. The drain will consist of the following:

6" SSD	6,586 ft	18" RCP	1,119 ft	21" RCP	727 ft
12" RCP	2,791 ft	15" RCP	885 ft	24" RCP	142 ft

The total length of the drain will be 12,250 feet.

The retention pond (lake) located in Common Area B will be considered part of the regulated drain. Only the inlet and outlet will be maintained as part of the regulated drain. The maintenance, such as mowing, of the pond (lake) will be the responsibility of the Homeowners Association. The Board will however, retain jurisdiction for ensuring the storage volume for which the lake was designed will be retained. Thereby, allowing no fill or easement encroachments.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs. Only the main SSD lines, which are located within the right of way, are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain.

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$20.00 per lot, \$2.00 per acre for roadways, with a \$20.00 minimum. With this assessment the total annual assessment for this drain/this section will be \$1,764.42.

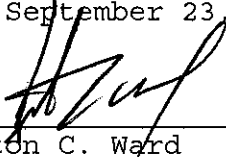
Parcels assessed for this drain may be assessed for the Sly Run Drain at sometime in the future.

With the construction of this arm to the Pebble Brook Drain, portions of Arm 2 of the Fred Hines Drain will be vacated. (See report dated August 12, 2002, Hamilton County Drainage Board minutes of August 12, 2002). The new portion of the Fred Hines Drain, Arm 2 will become part of the Ashfield Arm of the Pebble Brook Drain upon the Board's approval of this report.

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement request. This request is for the reduction of the regulated drain easement to those easements widths as shown on the secondary plat for Ashfield as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for September 23, 2002.



Kenton C. Ward
Hamilton County Surveyor

KCW/pll

State of Indiana)
)
County of Hamilton)

TO: HAMILTON COUNTY DRAINAGE BOARD
c/o Hamilton County Surveyor
Courthouse
Noblesville, IN 46060

In the matter of Ashfield subdivision, Section
~~One~~ Drain petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in Ashfield, a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages, and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefitted thereby.

Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

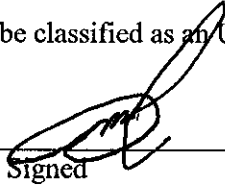
Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

The Petitioner also agrees to the following:

1. To provide the Drainage board a Performance Bond for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 100% of the Engineer's estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
2. The Petitioner shall retain an Engineer throughout the construction phase. At completion of the project the Petitioner's Engineer shall certify that the drainage system which is to be maintained as a regulated drain has been constructed as per construction plans.
3. The Petitioner agrees to request in writing to the county Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain File.

4. The Petitioner shall instruct this Engineer to provide a reproducible print on a 24" X 36" mylar of the final design of the Drainage System. This shall be submitted to the County Surveyor prior to the release of the Performance Bond.
5. The Petitioner shall comply with the Erosion Control Plan as specified on the construction plans. Failure to comply with the Erosion Control Plan shall be determined by the Board as being an obstruction to the drainage system. The county Surveyor shall immediately install or repair the needed measures at Petitioners cost as per IC 36-9-27-46.

The Petitioner further requests that the Drain be classified as an Urban Drain.


Signed _____

Dean McFarland
Printed Name _____

Signed

Printed Name

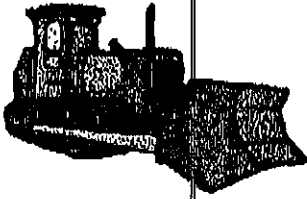
Recorded Owner(s) of Land Involved _____

Date _____

A:\HAMDRAIN.doc

FILED
JUL 03 2002
OFFICE OF HAMILTON COUNTY SURVEYOR

720



Big Iron, Inc

6320 Sunnyside Rd.
Indianapolis, IN 46236
PH # 317-823-9788
FAX 317-823-3586

The Earth moves faster with BIG IRON

July 8, 2002

Mr. Dean McFarland
Heritage Development Co
500 South Polk Ave, Ste 6C
Greenwood, IN 46143

Dear Mr. McFarland,

Total costs for Ashfield Subdivision are as follows:

- 1) Storm sewer including underdrains \$195,500.00
- 2) Final erosion control \$21,500.00

Thank you

A handwritten signature in black ink, appearing to read "Steven M Hoss". The signature is fluid and cursive, written over the printed name below it.

Steven M Hoss



HCDB-2002-00318

SUBDIVISION BOND

Bond No.: B21856935

Principal Amount: \$219,400.00

KNOW ALL MEN BY THESE PRESENTS, that we
Heritage Development of Indiana, LLC

422 E. County Road D St. Paul MN 55117

as Principal, and
Gulf Insurance Company

3055 Lebanon Road, Suite 3-1100 Nashville TN 37214 a CT

Corporation, as Surety, are held and firmly bound unto
Hamilton County Board of Commissioners

One Hamilton County Square, Suite 157 Noblesville IN 46060

as Obligee, in the penal sum of

Two Hundred Nineteen Thousand Four Hundred Dollars and 00/100

(Dollars) (\$ 219,400.00), lawful money of the
United States of America, for the payment of which well and truly to be made, we bind ourselves,
our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these
presents.

WHEREAS, Heritage Development of Indiana, LLC has agreed to construct in
Ashfield Estates Subdivision, in Hamilton County, IN the following
improvements:

Storm Sewers and Erosion Control

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the said
Principal shall construct, or have constructed, the improvements herein described, and shall save the
Obligee harmless from any loss, cost or damage by reason of its failure to complete said work, then
this obligation shall be null and void, otherwise to remain in full force and effect, and the Surety,
upon receipt of a resolution of the Obligee indicating that the improvements have not been installed
or completed, will complete the improvements or pay to the Obligee such amount up to the
Principal amount of this bond which will allow the Obligee to complete the improvements.

Upon approval by the Obligee, this instrument may be proportionately reduced as the public
improvements are completed.

Signed, sealed and dated, this 13 day of May, 2002

Heritage Development of Indiana, LLC

Principal

By: [Signature]

Gulf Insurance Company

Surety

By: [Signature]
Kelly A. Jacobs Attorney-in-Fact

0127

ORIGINALS OF THIS POWER OF ATTORNEY ARE PRINTED ON BLUE SAFETY PAPER WITH TEAL INK.

KNOW ALL MEN BY THESE PRESENTS: That the Gulf Insurance Company, a corporation duly organized under the laws of the State of Connecticut, having its principal office in the city of Irving, Texas, pursuant to the following resolution, adopted by the Finance & Executive Committee of the Board of Directors of the said Company on the 10th day of August, 1993, to wit:

"RESOLVED, that the President, Executive Vice President or any Senior Vice President of the Company shall have authority to make, execute and deliver a Power of Attorney constituting as Attorney-in-Fact, such persons, firms, or corporations as may be selected from time to time; and any such Attorney-in-Fact may be removed and the authority granted him revoked by the President, or any Executive Vice President, or any Senior Vice President, or by the Board of Directors or by the Finance and Executive Committee of the Board of Directors.

RESOLVED, that nothing in this Power of Attorney shall be construed as a grant of authority to the attorney(s)-in-fact to sign, execute, acknowledge, deliver or otherwise issue a policy or policies of insurance on behalf of Gulf Insurance Company.

RESOLVED, that the signature of the President, Executive Vice President or any Senior Vice President, and the Seal of the Company may be affixed to any such Power of Attorney or any certificate relating thereto by facsimile, and any such powers so executed and certified by facsimile signature and facsimile seal shall be valid and binding upon the Company in the future with respect to any bond and documents relating to such bonds to which they are attached."

Gulf Insurance Company does hereby make, constitute and appoint

**Lewis James Scheer Michael J. Scheer James I. Moore Alice Rhoads Bonnie Kruse
Stephen T. Kazmer Dawn L. Morgan Peggy Faust Kelly A. Jacobs Elaine Marcus**

its true and lawful attorney(s)-in-fact, with full power and authority hereby conferred in its name, place and stead, to sign, execute, acknowledge and deliver in its behalf, as surety, any and all bonds and undertakings of suretyship, and to bind Gulf Insurance Company thereby as fully and to the same extent as if any bonds, undertakings and documents relating to such bonds and/or undertakings were signed by the duly authorized officer of the Gulf Insurance Company and all the acts of said attorney(s)-in-fact, pursuant to the authority herein given, are hereby ratified and confirmed.

The obligation of the Company shall not exceed five million (5,000,000) dollars.

IN WITNESS WHEREOF, the Gulf Insurance Company has caused these presents to be signed by any officer of the Company and its Corporate Seal to be hereto affixed.

STATE OF NEW YORK }
COUNTY OF NEW YORK } SS



GULF INSURANCE COMPANY

Lawrence P. Minter

Lawrence P. Minter
Executive Vice President

On this 1st day of October, AD 2001, before me came Lawrence P. Minter, known to me personally who being by me duly sworn, did depose and say: that he resides in the County of Bergen, State of New Jersey; that he is the Executive Vice President of the Gulf Insurance Company, the corporation described in and which executed the above instrument; that he knows the seal of said corporation; that the seal affixed to the said instruments is such corporate seal; that it was so affixed by order of the Board of Directors of said corporation and that he signed his name, thereto by like order.

STATE OF NEW YORK }
COUNTY OF NEW YORK } SS



Angie Mahabir-Begazo

ANGIE MAHABIR-BEGAZO
Notary Public, State of New York
No. 01MA6019988
Qualified in Kings County
Commission Expires February 16, 2003

I, the undersigned, Senior Vice President of the Gulf Insurance Company, a Connecticut Corporation, DO HEREBY CERTIFY that the foregoing and attached POWER OF ATTORNEY remains in full force.

Signed and Sealed at the City of New York.

Dated the 13th day of May, 20 02



George Biancardi


George Biancardi
Senior Vice President

STATE OF ILLINOIS }
 }
COUNTY OF COOK }

On May 13, 2002, before me, a Notary Public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared Kelly A. Jacobs, known to me to be Attorney-in-Fact of Gulf Insurance Company, the corporation described in and that executed the within and foregoing instrument, and known to me to be the person who executed the said instrument in behalf of the said corporation, and he duly acknowledged to me that such corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year stated in this certificate above.

My Commission Expires March 29, 2004


Notary Public



BOND CHECKLIST

Please be sure to thoroughly review this document before presenting it to the Obligee:

- Is this the correct bond form?
- Is the information on the bond correct?
- Has the bond been signed, sealed and notarized (if applicable)?

FILED

MAY 16 2002

OFFICE OF HAMILTON COUNTY SURVEYOR

FINDINGS AND ORDER
CONCERNING THE MAINTENANCE OF THE
Pebble Brook Drain, Ashfield Arm

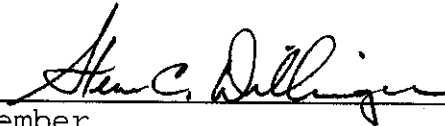
On this *23rd day of September 2002*, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the *Pebble Brook Drain, Ashfield Arm*.

Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessment will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.

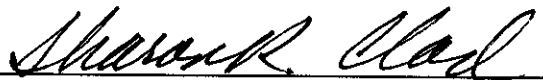
HAMILTON COUNTY DRAINAGE BOARD



President



Member



Member

Attest:



*GASB 34 – Value Calculations
Ashfield*

Bonds: \$219,400

Fred Hines – Ashfield Recon. = $1320\text{ft}/13570\text{ft} = 0.0972733 \times (\$219,400) = \$21,341.77$
Pebble Brook – Ashfield Arm = $12250\text{ft}/13570\text{ft} = 0.9027266 \times (\$219,400) = \$198,058.23$

CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: Ashfield, Section 1

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.

Signature:  Date: October 17, 2003

Type or Print Name: Duane A. Sharrer

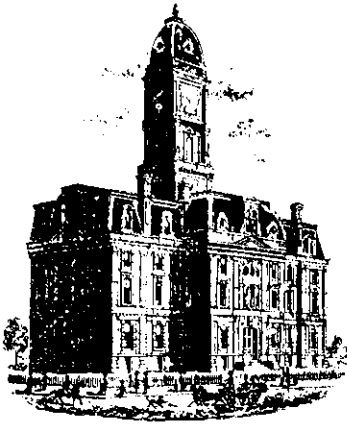
Business Address: The Schneider Corporation
8901 Otis Avenue, Indianapolis, IN 46216

Telephone Number: 317.826.7302

SEAL



INDIANA REGISTRATION NUMBER:
890258



SURVEYOR'S OFFICE

Hamilton County

Kenton C. Ward, Surveyor

Phone (317) 776-8495

Fax (317) 776-9628

Suite 188

One Hamilton County Square

Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

October 27, 2004

Re: Pebble Brook Drain: Ashfield Estates Arm

Attached are as-builts, certificate of completion & compliance, and other information for Ashfield Estates. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated August 12, 2002. The report was approved by the Board at the hearing held September 23, 2002. (See Drainage Board Minutes Book 6, Pages 445-446) Also, It should be noted that on August 12, 2002 a report was given to the board for the relocation of the Fred Hines Drain through the Ashfield Estates Subdivision. See Drainage Board Minutes Book 6, Pages 406-407) Now that the work is completed that portion of drain will now be considered part of the Pebblebrook Drain. The above mentioned changes are as follows:

Structure:	T.C.:	I.E.:	Pipe:	Length:	Grade:	Original:	Difference:
607	858.03	855.56					
606	856.17	853.7	12	179	1.04	180	-1
606	856.17	853.7					
605	855.31	852.51	12	244	0.49	247	-3
609		852.63					
605	855.31	852.51	12	38	0.32	40	-2
605	855.31	852.51					
604	856	851.98	18	277	0.19	274	3
608	856.82	853.52					
604	856	851.98	15	161	0.96	160	1
604	856	851.98					
603		851.77	18	49	0.43	56	-7
617	860.92	857.82					
616	860.29	856.92	12	129	0.7		
616	860.29	856.76					
611	860.27	855.85	12	114	0.8		
615	858.59	856.39					
614	860.67	855.71	12	174	0.39	180	-6
614	860.67	855.71					
613	860.91	854.71	12	303	0.33	300	3

613	860.91	854.71						
612	860.31	853.96	12	129	0.58	130	-1	
612	860.31	853.93						
611	860.27	853.45	12	31	1.55			
611	860.27	853.42						
610		851.96	15	148	0.99	152	-4	
626	859.66	856.09						
623	859.65	855.08	12	153	0.66			
625	859.07	855.63						
624	859.25	855.01	12	31	2			
624	859.25	854.91						
623	859.65	854.85	15	22	0.27	19	3	
623	859.65	854.7						
622	856.87	854.01	18	112	0.62	118	-6	
622	856.87	853.95						
621	860.11	853.56	21	64	0.61			
621	860.11	853.52						
620	858.37	853.33	21	107	0.18	98		
620	858.37	853.33						
619	858.36	852.8	21	31	1.71			
619	858.36	852.8						
618A	858.7	852.52	24	9	3.11	11	-2	
618A	858.7	852.52						
618		852.09	24	154	0.28	157	-3	
629	860.55	856.17						
628	860.53	856.01	15	31	0.52			
628	860.53	856.01						
627	857.61	854.84	15	150	0.78			
627	857.61	854.69						
622	856.87	853.98	18	188	0.38	185	3	
602	854.5	852.1						
601	854.54	851.78	12	65	0.35	66	-1	
601	854.54	851.78						
Ex1	853.22	851.57	12	53	0.4	55	-2	
647		854.28						
636	856.53	854.16	12	21	0.57	25	-4	
641	857.74	854.79						
640	858.33	854.52	18	113	0.24	111	2	
640	858.33	854.38						
639	858.03	854.06	18	76	0.42	77	-1	
639	858.03	854.03						
638	859.05	853.72	18	22	1.41	26	-4	
638	859.05	853.71						
637	856.67	853.3	21	131	0.31	128	3	
637	856.67	853.3						
636	856.53	852.95	21	186	0.19	187	1	
636	856.53	852.95						
635		852.03	21	213	0.43	217	-4	

649	860.74	857.41					
648	860.77	857.28	12	31	0.42		
648	860.77	857.18					
638	859.05	856.01	12	138	0.85	136	2
646	862.6	859.37					
645	862.65	859.06	12	31	1		
645	862.65	859.06					
644	862	858.5	12	160	0.35	152	8
644	862	858.5					
643	861.98	858.2	15	31	0.97		
643	861.98	858.2					
642	858.75	856.02	15	178	1.22	179	1
642	858.75	856.02					
641	857.74	855.17	18	269	0.32	272	-8
651	859.56	857.45					
650	858.88	856.49	12	272	0.35	273	-1
650	858.88	856.49					
641	857.74	855.19	12	345	0.38	351	-6
634	860.24	858.18					
633	859.54	857.42	12	295	0.26	300	
633	859.54	857.42					
632	861.3	856.98	12	111	0.4	107	
632	861.3	856.9					
631	861.46	856.58	12	26	1.23	31	-5
631	861.46	856.58					
630	861.44	856.48	15	31	0.32		
630	861.44	856.48					
629	860.55	856.17	15	132	0.23		

6" SSD Streets:

Nyla Ct	311
Cristin Way	1515
Beach Club Dr	421.5
Caitlin Way	623.5
Ashfield Dr	406

Totalx2: 6554

RCP Pipe Totals:

12	3073
15	884
18	1106
21	732
24	163

Total: 5958

Note: Removed Str #140 and 40' of 12" RCP from Villages at Pebble brook Sec. 4.
The length of the drain due to the changes described above is now **12,512 feet**.

The non-enforcement was approved by the Board at its meeting on September 23, 2002 and recorded under instrument #200300093805.

The following sureties were guaranteed by Scheer's, Inc. and released by the Board on its January 12, 2004 meeting.

Bond-LC No: B21856935

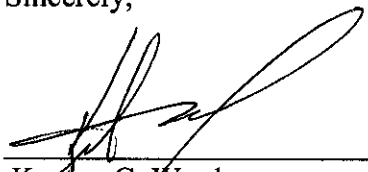
Insured For: Storm Sewers, Erosion Control

Amount: \$219,400

Issue Date: May 13, 2002

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,



Kenton C. Ward,
Hamilton County Surveyor

KCW/slm

ASHFIELD

SECTION 1

(CONSTRUCTION PLANS)

HAMILTON COUNTY WESTFIELD, INDIANA

DEVELOPER:

HERITAGE DEVELOPMENT OF IN., LLC

500 South Polk Street (Suite 6C)

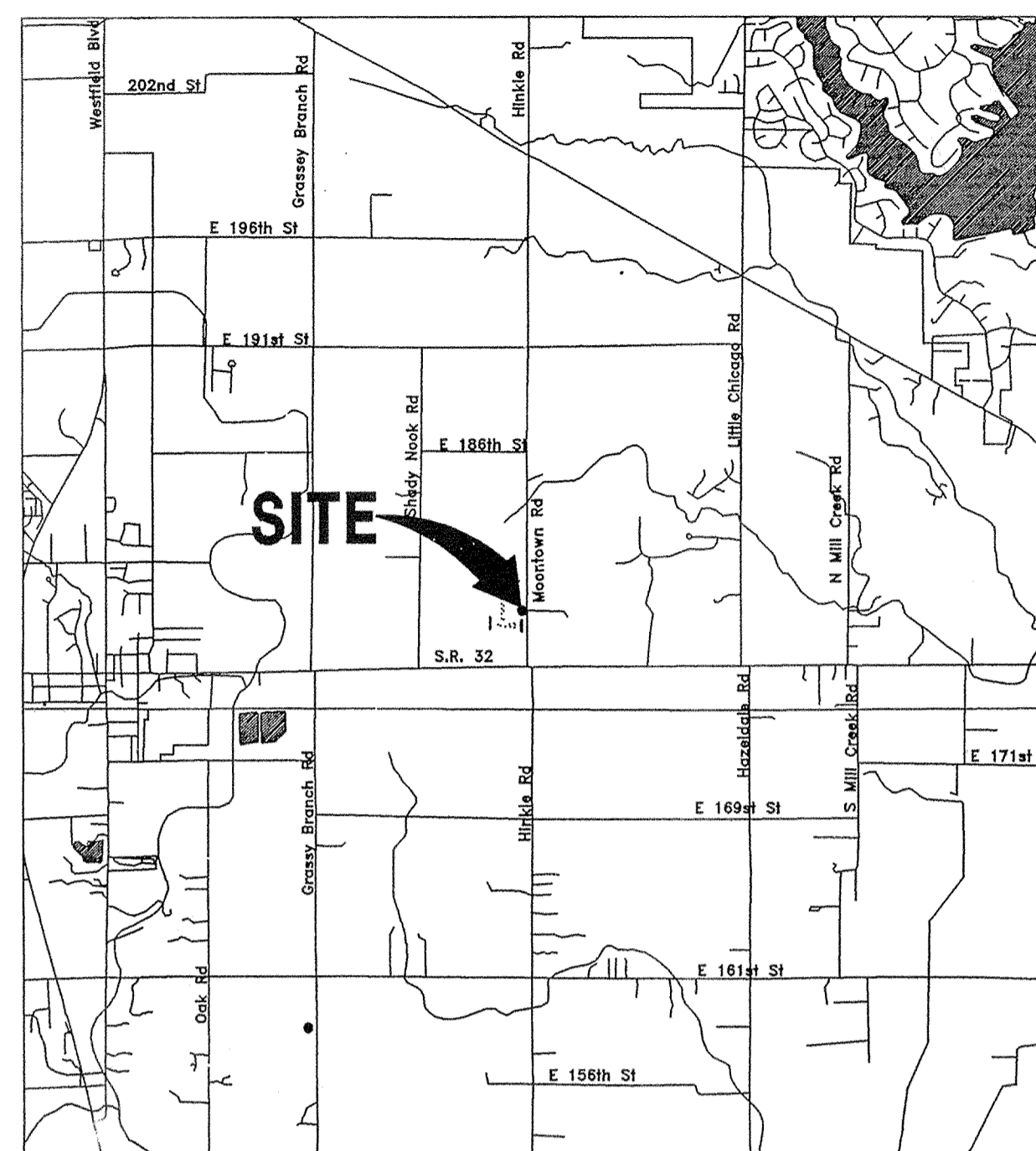
Greenwood, Indiana 46143

(317) 882-7526

CONTACT PERSON:

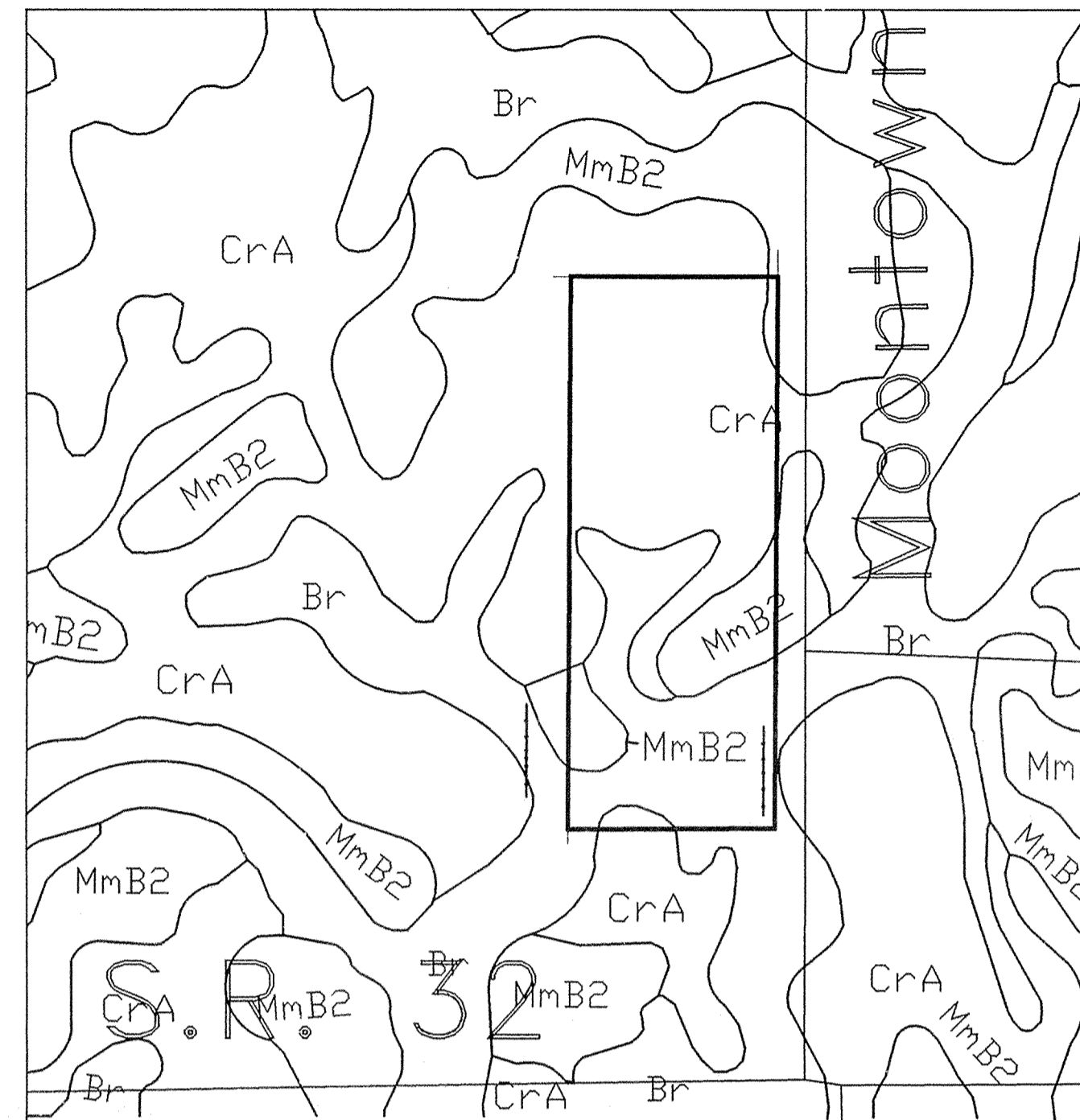
DEAN McFARLAND

(317) 882-7526



AREA MAP

SCALE: 1"=4000'

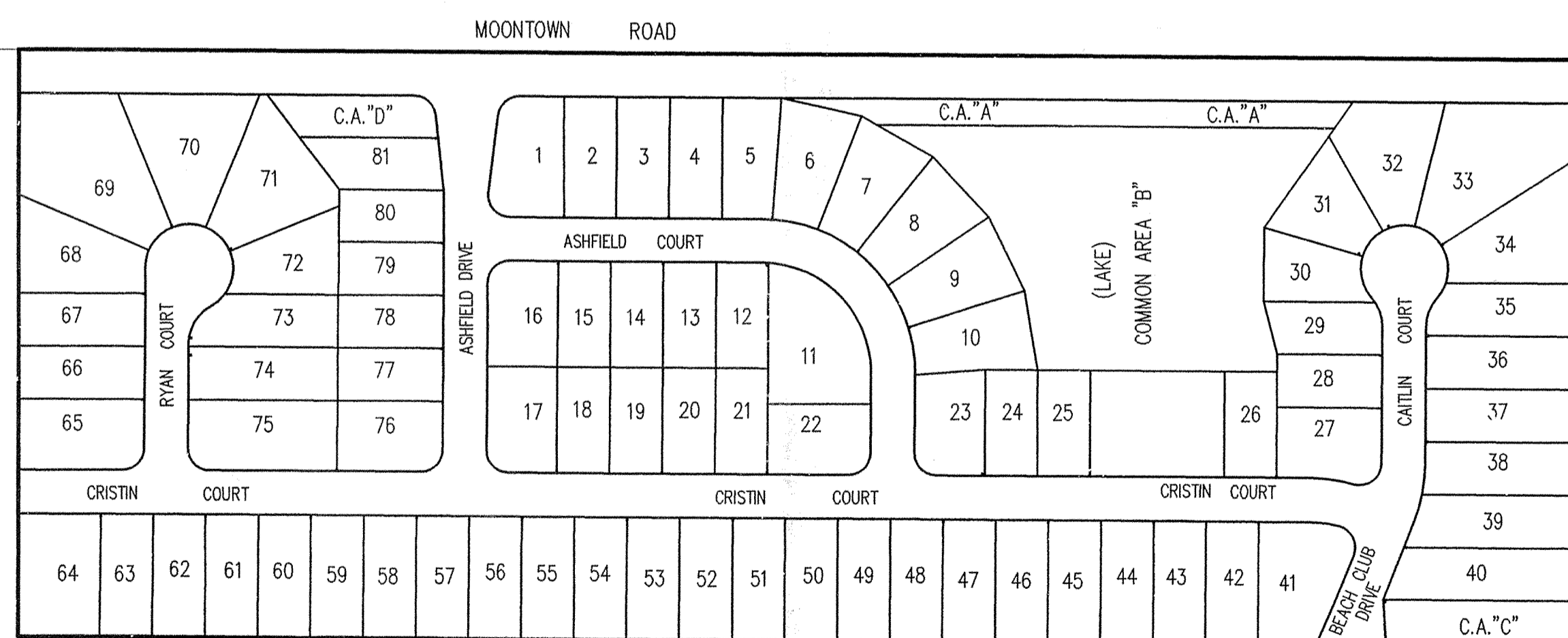


SOILS MAP

SCALE: 1" = 500'

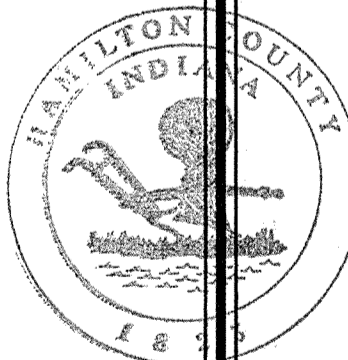
**** NOTE ****
 THESE IMPROVEMENTS HAVE BEEN INSTALLED IN REASONABLE COMPLIANCE WITH THE ORIGINAL DESIGN PLANS WITH RESPECT TO HORIZONTAL LOCATIONS AND GRADES AND ANY DEVIATION OF LOCATIONS, GRADE OR MATERIAL USED ARE SHOWN IN THESE "RECORD" DRAWINGS (PLANS).

INDEX	
SHEET No.	DESCRIPTION
C100	COVER SHEET
C101-C102	DEVELOPMENT PLAN
C103-C104	EROSION CONTROL PLAN
C105-C106	EROSION CONTROL NOTES & DETAILS
C107	LAKE PLAN
C201-C203	STREET PLAN
C301	INTERSECTION DETAILS
C302	CUL-DE-SAC DETAILS
C303	ENTRANCE PLAN
C304	MAINTENANCE OF TRAFFIC PLAN
C401-C403	SANITARY SEWER PLAN
C601-C606	STORM SEWER PLAN
C701-C702	WATER DISTRIBUTION SYSTEM
C703	WATERLINE DETAILS & SPECIFICATIONS
C801-C803	GENERAL DETAILS
C901	SPECIFICATIONS



SITE MAP

SCALE: 1"=300'

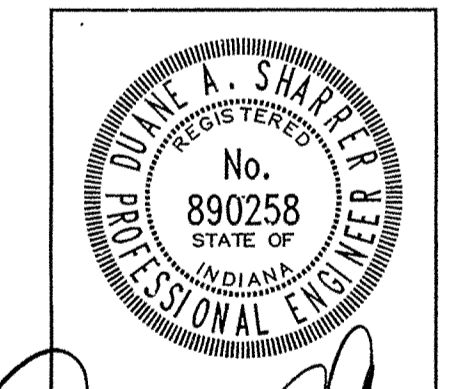


This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.

Entry Date: 10-27-04

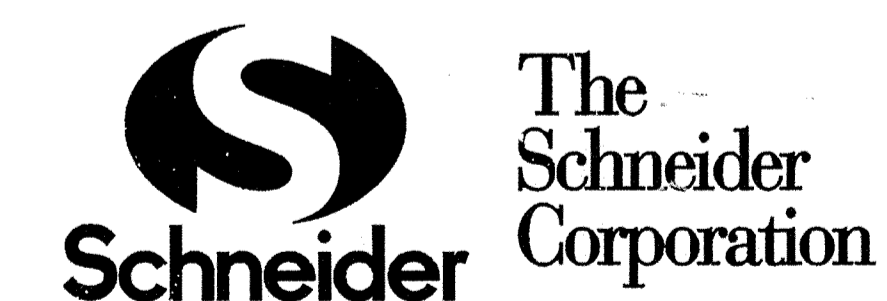
Entered by: sm

RECORD DRAWING CERTIFICATION



DATE: 08/27/05
 CERTIFIED BY: *Duane A. Sharber*

RECORD DRAWING



Historic Fort Harrison
 8901 Otis Avenue
 Indianapolis, Indiana
 46216-1037
 317-826-7100 Fax
 317-826-7800 Fax

Engineering
 Surveying
 Landscape Architecture
 GIS • IIS
 Geology

Formerly Schneider Engineering Corp. / Bohlen, Meyer, Gibson & Assoc.

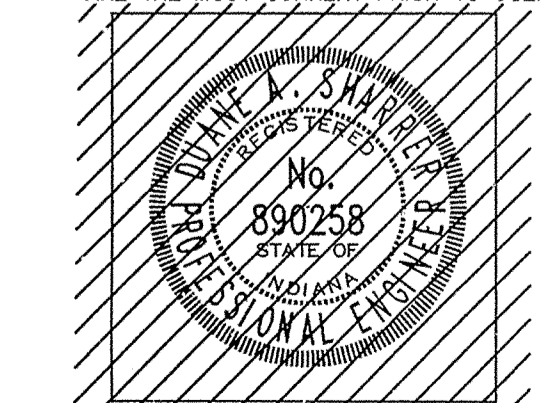
REVISIONS:		
DATE:	BY:	DESCRIPTION:

CERTIFIED BY: DUANE A. SHARBER

E-MAIL ADDRESS: dsharber@schneidercorp.com

PROJECT ENGINEER: _____
 CHECKED BY: _____ DATE CHECKED: _____

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DATE: 02/27/2002

SHEET

C100



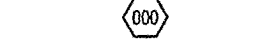




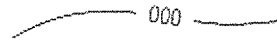
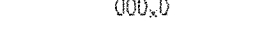
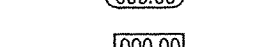
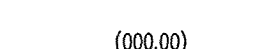
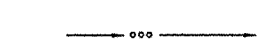


NOTE
 EXISTING FRED E. HINES REGULATED DRAIN TO BE RECONSTRUCTED AND THE EXISTING TILE WILL BE REMOVED OR CRUSHED.

HOLEY MOLEY SAYS
"DON'T DIG BLIND"

"IT'S THE LAW"
 CALL A HOLEY MOLEY BEFORE YOU DIG
1-800-382-5544
 CALL TOLL FREE
 PER INDIANA STATE LAW 15-69-1991,
 IT IS AGAINST THE LAW TO EXCAVATE
 WITHOUT NOTIFYING THE UNDERGROUND
 LOCATION SERVICE TWO (2) WORKING
 DAYS BEFORE COMMENCING WORK.

ASSUMED NORTH
 SCALE: 1" = 50'

BENCH MARK:
 "HAMILTON 107" DISK IN CONCRETE MONUMENT LOCATED AT THE
 SOUTHWEST CORNER OF THE INTERSECTION OF GRASSY BRANCH
 ROAD AND CORNAIL.
 ELEVATION = 869.42

- LEGEND**
-  Existing Storm Sewer
 -  New Storm Sewer
 -  Storm Structure Number
 - 6" Subsurface Drain w/Connection
 -  Existing Sanitary Sewer
 -  New Sanitary Sewer
(Types and Materials are shown for reference only
 See Sanitary Sewer Plan for Locations)
 -  Sanitary Structure Number
 -  Existing Contour
 -  Existing Elevation
 -  New Pavement Grade
 -  All Other Finish Grades
 -  Corrected Grades
 -  Swale Flowline (E)
 -  Flow Arrow
 -  Denotes Elevation and Approximate Pad Size

FOR CONTINUATION SEE SHEET C102

GENERAL NOTES

1. ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
2. IT SHALL BE THE RESPONSIBILITY OF EACH SUBCONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND CONDITIONS PERTAINING TO HIS PHASE OF WORK. IT SHALL ALSO BE THE SUBCONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNERS OF THE VARIOUS UTILITIES FOR PROPER STAKE LOCATION OF EACH UTILITY BEFORE WORK IS STARTED. THE SUBCONTRACTOR SHALL NOTIFY IN WRITING THE OWNER AND THE ENGINEER OF ANY CHANGES, OMISSIONS, OR ERRORS FOUND ON THESE PLANS OR IN THE FIELD BEFORE WORK IS STARTED OR RESUMED.
3. STANDARD SPECIFICATIONS FOR THE TOWN OF WESTFIELD SHALL APPLY FOR ALL WATER AND SANITARY SEWERS.
4. ANY PART OF THE SANITARY OR STORM SEWER TRENCHES RUNNING UNDER PAVED AREAS TO BE BACKFILLED WITH GRANULAR MATERIAL.
5. THE SIZE AND LOCATION OF EXISTING UTILITIES SHOWN ARE PER INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES. ALL UTILITY COMPANIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION FOR FIELD LOCATION OF SERVICES.
6. SERVICE WALKS SHALL BE NON-REINFORCED CONCRETE 4" THICK AND 4' IN WIDTH.
7. 4' CONCRETE SERVICE WALK ACROSS FRONTAGE OF EACH LOT TO BE CONSTRUCTED BY OTHERS.
8. EXPANSION JOINTS ARE TO BE PLACED AT ALL WALK INTERSECTION AND BETWEEN WALKS AND PLATFORMS. SIDEWALK SCORES ARE TO BE EQUALLY SPACED BETWEEN EXPANSION JOINTS. CONTRACTION JOINTS AND PERPENDICULAR SIDEWALKS AT 5' INTERVALS OR LESS WITH A CONTRACTION JOINT EVERY 20' OR LESS.
9. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
10. ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
11. CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
12. ALL SUBSURFACE DRAINS ARE TO BE 6" MINIMUM.

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 Entry Date: 10-27-04
 Entered by: *slm*

NOTE
 FOR STORM SEWER STRUCTURE DATA TABLE SEE SHEET C102.

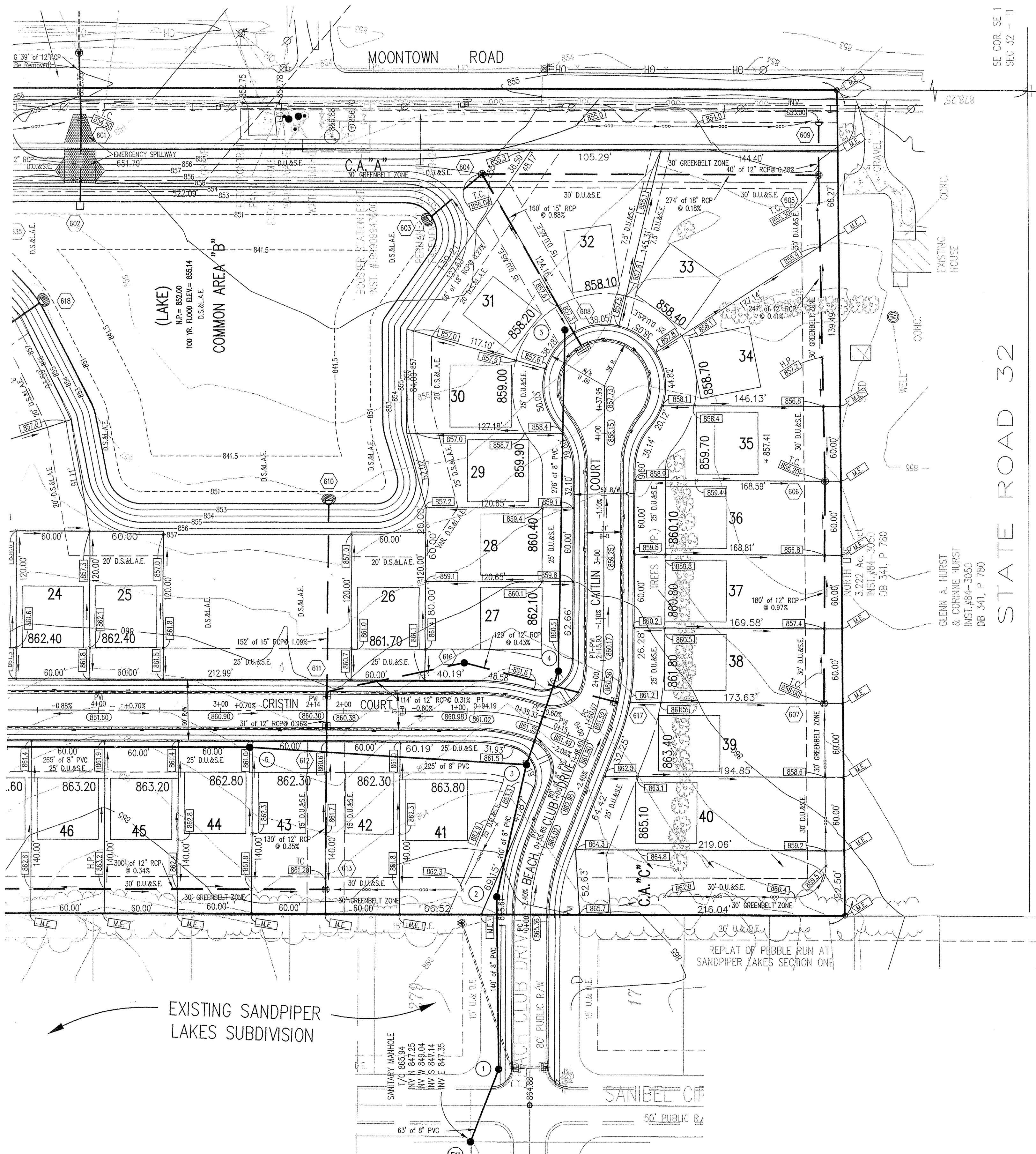
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ASHFIELD
 WESTFIELD, INDIANA
 HERITAGE DEVELOPMENT OF INDIANA, LLC
 500 South Polk Street (Suite 6C), Greenwood, Indiana 46143

DATE: 02/26/2002 PROJECT NO.: 1074-002
 DRAWN BY: TSC CHECKED BY:
 SHEET TITLE: DEVELOPMENT PLAN
 DRAWING FILES:
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 Ref: R:\1074\002\DWG\S\0028.DWG
 Ref: R:\1074\DWG\07A\07A.DWG
 Ref: R:\1074\002\DWG\S\TITLE1
 SHEET NO.: **C101**

FOR CONTINUATION SEE SHEET C101



NOTE
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PER INDIANA STATE LAW 15-59-1991, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

ASSUMED NORTH SCALE: 1" = 50'

STORM SEWER STRUCTURE DATA TABLE

STR #	TC/RIM ELEV.	INVERT IN	INVERT OUT	DEPTH	STR SIZE	STR TYPE	CASTING TYPE	PIPE SIZE	DIRECTION OF PIPE (IN / OUT)
634	860.30	---	858.20	0.93'	24" x 24"	BEEHIVE INLET	R-4342	12"	OUT(S)
633	859.70	857.25	857.25	1.28'	24" x 24"	BEEHIVE INLET	R-4342	12"	IN(N), OUT(E)
632	861.90	856.90	856.90	3.83'	MH/BOX	STORM MANHOLE	R-1772-A	12"	IN(W), OUT(SE)
631	861.33	856.80	856.55	3.38'	MH/BOX	CURB INLET	R-3501-N	12"(N), 15"(OUT)	IN(NW), OUT(E)
630	861.33	856.45	856.45	3.48'	MH/BOX	CURB INLET	R-3501-N	15"	IN(W), OUT(SE)
629	860.51	856.10	856.10	2.99'	MH/BOX	CURB INLET	R-3501-N	15"	IN(NW), OUT(S)
628	860.51	855.95	855.95	3.14'	MH/BOX	CURB INLET	R-3501-N	15"	IN(N), OUT(S)
627	857.60	854.95	854.70	1.21'	24" x 24"	BEEHIVE INLET	R-4342	15"(N), 18"(OUT)	IN(N), OUT(S)
622	857.00	854.10(N)	853.85	1.19'	30" x 30"	BEEHIVE INLET	R-4342	18"(N), 18"(N), 21"(OUT)	IN(N), IN(W), OUT(E)
621	860.20	853.60	853.60	4.64'	MH/BOX	STORM MANHOLE	R-1772-A	21"	IN(W), OUT(S)
620	858.48	853.25	853.25	3.27'	MH/BOX	CURB INLET	R-3501-N	21"	IN(N), OUT(SE)
619	858.48	853.10	848.10	8.15'	MH/BOX	CURB INLET	R-3501-N	21"(N), 24"(OUT)	IN(NW), OUT(SE)
618A	859.30	848.00	852.50	9.07'	MH/BOX	STORM MANHOLE	R-1772-A	24"	IN(NW), OUT(SE)
618	---	852.00	---	---	---	END SECTION	---	24"	IN(NW)
646	862.59	---	859.40	2.02'	24" x 24"	CURB INLET	R-3501-N	12"	OUT(E)
645	862.59	859.25	859.25	2.17'	24" x 24"	CURB INLET	R-3501-N	12"	IN(W), OUT(SE)
644	861.95	858.75	858.50	2.03'	24" x 24"	CURB INLET	R-3501-N	12"(N), 15"(OUT)	IN(NW), OUT(S)
643	861.95	858.40	858.40	2.13'	24" x 24"	CURB INLET	R-3501-N	15"	IN(N), OUT(S)
642	858.70	856.10	855.85	1.16'	24" x 24"	BEEHIVE INLET	R-4342	15"(N), 18"(OUT)	IN(N), OUT(E)
641	837.60	855.20(N)	854.30	1.21'	24" x 24"	BEEHIVE INLET	R-4342	12"(N), 18"(N), 18"(OUT)	IN(N), IN(W), OUT(SE)
640	858.03	854.30	854.30	2.04'	24" x 24"	CURB INLET	R-3501-N	18"	IN(W), OUT(S)
639	857.87	854.00	854.00	2.18'	24" x 24"	CURB INLET	R-3501-N	18"	IN(N), OUT(W)
638	859.10	856.20(N)	853.65	3.49'	MH/BOX	STORM MANHOLE	R-1772-A	18"(N), 12"(N), 21"(OUT)	IN(E), IN(W), OUT(S)
637	857.40	853.35	853.35	2.09'	MH/BOX	BEEHIVE INLET	R-4342	21"	IN(N), OUT(S)
636	856.50	853.35	852.90	1.64'	30" x 30"	BEEHIVE INLET	R-4342	12"(N), 21"(N), 21"(OUT)	IN(E), IN(N), OUT(S)
635	---	852.00	---	---	---	END SECTION	---	21"	IN(N)
649	860.72	---	857.30	2.25'	24" x 24"	CURB INLET	R-3501-N	12"	OUT(E)
648	860.72	857.15	857.15	2.40'	24" x 24"	CURB INLET	R-3501-N	12"	IN(W), OUT(E)
651	859.70	---	857.35	1.18'	24" x 24"	BEEHIVE INLET	R-4342	12"	OUT(E)
650	858.90	856.50	856.50	1.23'	24" x 24"	BEEHIVE INLET	R-4342	12"	IN(W), OUT(S)
626	859.62	---	856.25	2.20'	24" x 24"	CURB INLET	R-3501-N	12"	OUT(N)
625	858.87	---	855.50	2.20'	24" x 24"	CURB INLET	R-3501-N	12"	OUT(N)
624	858.87	855.25	855.00	2.45'	24" x 24"	CURB INLET	R-3501-N	12"(N), 15"(OUT)	IN(W), OUT(E)
623	859.60	853.35	854.65	3.28'	MH/BOX	STORM MANHOLE	R-1772-A	12"(N), 15"(N), 18"(OUT)	IN(S), IN(SW), OUT(E)
647	---	854.30	---	---	---	END SECTION	---	12"	OUT(W)
607	858.00	---	855.60	1.23'	24" x 24"	BEEHIVE INLET	R-4342	12"	OUT(E)
608	856.20	853.85	853.85	1.18'	24" x 24"	BEEHIVE INLET	R-4342	12"	IN(W), OUT(E)
605	855.30	852.95(N)	852.45	1.16'	24" x 24"	BEEHIVE INLET	R-4342	12"(N), 12"(N), 18"(OUT)	IN(W), IN(E), OUT(N)
604	856.00	851.95	851.95	2.36'	MH/BOX	BEEHIVE INLET	R-4342	15"(N), 18"(N), 18"(OUT)	IN(SW), IN(S), OUT(NW)
609	---	853.00	---	---	---	END SECTION	---	12"	OUT(W)
608	856.95	---	853.60	1.93'	24" x 24"	CURB INLET	R-3501-N	15"	OUT(NE)
603	---	851.80	---	---	---	END SECTION	---	18"	IN(SE)
601	854.50	851.82	851.62	1.51'	24" x 24"	BEEHIVE INLET	R-4342	12"	IN(W), OUT(E)
615	858.60	---	856.25	1.18'	24" x 24"	BEEHIVE INLET	R-4342	12"	OUT(S)
614	860.70	855.65	855.65	3.85'	MH/BOX	BEEHIVE INLET	R-4342	12"	IN(N), OUT(S)
613	861.20	854.65	854.65	5.38'	MH/BOX	BEEHIVE INLET	R-4342	12"	IN(N), OUT(E)
612	860.30	854.20	854.20	4.93'	MH/BOX	CURB INLET	R-3501-N	12"	IN(W), OUT(E)
611	860.30	853.90(N)	853.65	5.23'	MH/BOX	CURB INLET	R-3501-N	12"(N), 12"(N), 15"(OUT)	IN(W), IN(S), OUT(E)
617	860.92	---	857.50	2.25'	24" x 24"	CURB INLET	R-3501-N	12"	OUT(N)
616	861.30	856.95	856.95	3.18'	MH/BOX	STORM MANHOLE	R-1772-A	12"	IN(S), OUT(N)
610	---	852.00	---	---	---	END SECTION	---	15"	IN(W)

BENCH MARK:

"HAMILTON 107" DISK IN CONCRETE MONUMENT LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF GRASSY BRANCH ROAD AND CONRAL.
ELEVATION = 869.42

LEGEND

- Existing Storm Sewer
- New Storm Sewer
- Storm Structure Number
- 6" Subsurface Drain w/Connection
- Existing Sanitary Sewer
- New Sanitary Sewer
- Sanitary Structure Number
- Existing Contour
- Existing Elevation
- New Pavement Grade
- All Other Finish Grades
- Corrected Grades
- Swale Flowline(E)
- Flow Arrow
- Denotes Elevation and Approximate Pad Size

GENERAL NOTES

- ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
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- ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
- CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
- ALL SUBSURFACE DRAINS ARE TO BE 6" MINIMUM.

MILTON COUNTY INDIANA
This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an **unrecorded** record of the GIS.
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Entered by: *SLM*

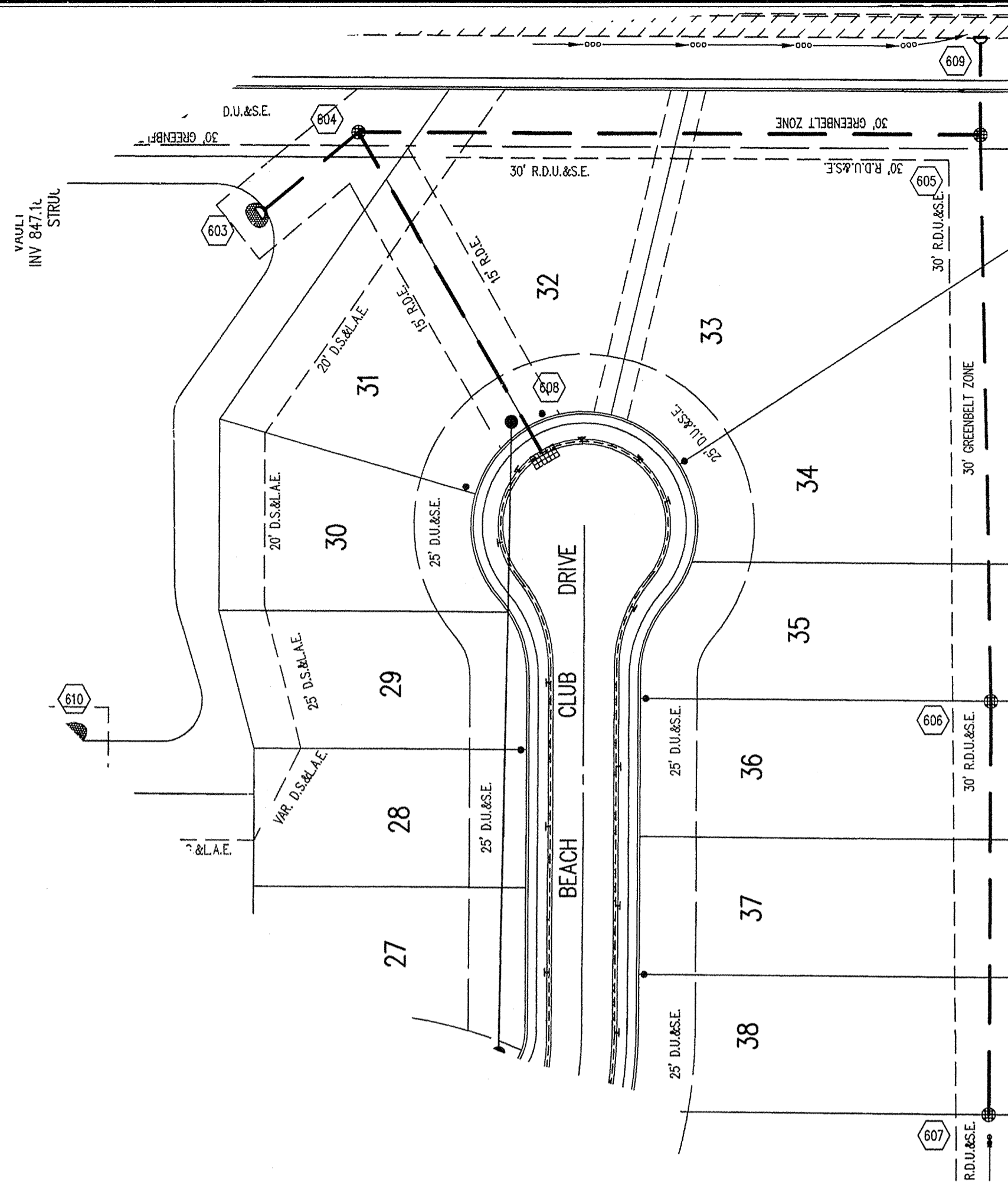
PROF. DIANE A. SHAFFER REGISTERED PROFESSIONAL ENGINEER
No. 890258 STATE OF INDIANA
Diane Shafer
DATE: 02/27/2002
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ASHFIELD
WESTFIELD, INDIANA
HERITAGE DEVELOPMENT OF INDIANA, LLC
500 South Polk Street (Suite 6C), Greenwood, Indiana 46143

DATE: 02/26/2002 PROJECT NO: 1074.002
DRAWN BY: TSC CHECKED BY:
SHEET TITLE: DEVELOPMENT PLAN
DRAWING FILES:
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C102



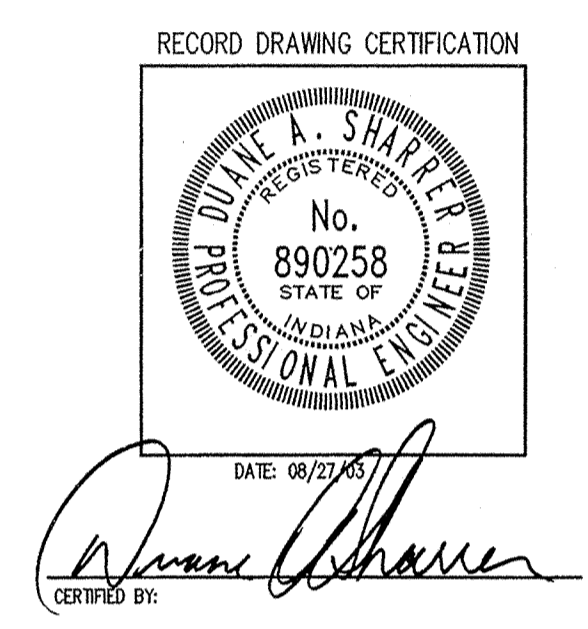
GENERAL NOTES

1. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
2. ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
3. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL UTILITY LOCATIONS BEFORE CONSTRUCTION BEGINS.
4. CONTRACTORS SHALL MINIMIZE DAMAGE TO EXISTING TREES.

* * NOTE * *

ALL STORM SEWER PIPE AND STRUCTURES ARE WITHIN THE APPROPRIATE EASEMENT.

ALL STORM SEWER PIPE ARE REINFORCED CONCRETE PIPE (RCP). SIZE AS SHOWN ON PLANS.



CERTIFICATION FOR "RECORD DRAWING"

NOTE:
Record drawing certification only for top of castings, invert elevations and lengths of pipe. Slope percentage represents a calculated figure and is for general information only.

LEGEND/DETAILS

Sheet	Detail Number	Description
C801	15	Bedding Detail - Reinforced Concrete Pipe (RCP)
C801	4	Roll Curb Inlet
C801	11	Beehive Inlet Detail
C801	9	Storm Manhole Detail
C801	10	Precast Concrete End Section
C106	-	Rip Rap
C802	5	6" PIPE UNDERDRAIN

NOTE
1. TRASH GUARD TO BE INSTALLED AT ALL END SECTIONS - SEE DETAIL No.1 SHEET C802.

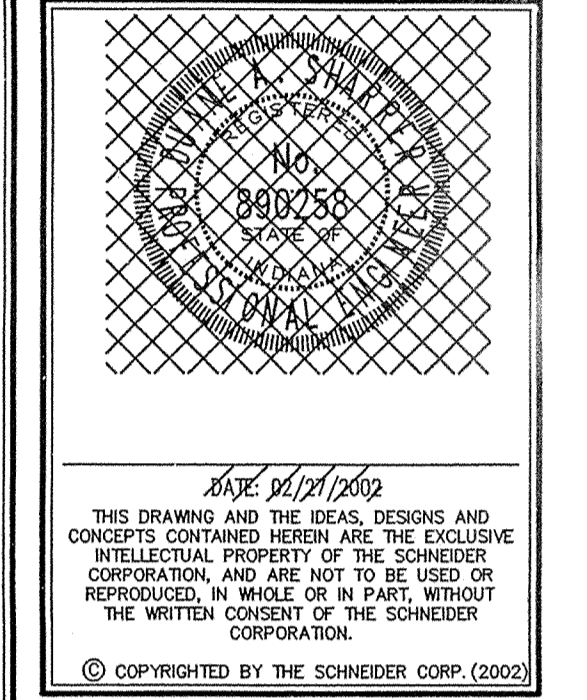
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BENCH MARK:

"HAMILTON 107" DISK IN CONCRETE MONUMENT LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF GRASSY BRANCH ROAD AND CONRAIL.
ELEVATION = 869.42

REVISIONS:
1. 05/17/02 REUSE PER SURVEYORS COMMENTS.
2. 07/08/03 STORM SEWER "RECORD DRAWING".



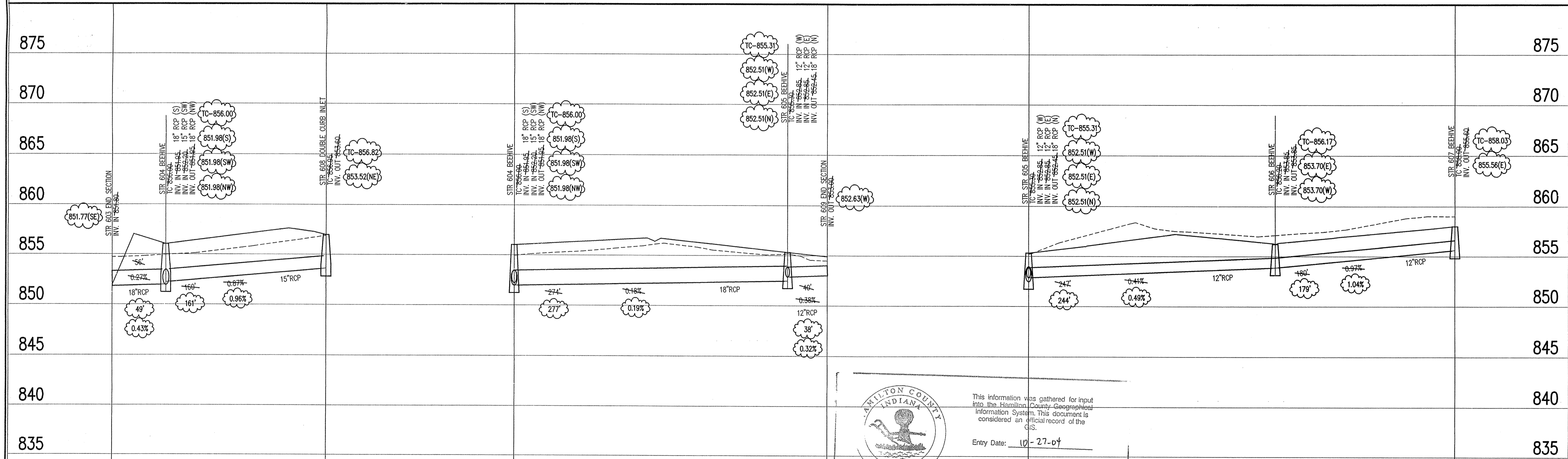
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STORM SEWER PLAN

SCALE: 1"=50'



HAMILTON COUNTY INDIANA

This information was gathered for input into the Hamilton County Geographic Information System. This document is considered an official record of the GIS.

Entry Date: 10-27-07
Entered by: slm

STORM SEWER RECORD DRAWING

LEGEND

Existing Grade	New Grade	Granular Backfill

SCALE: HORZ.: 1"=50'
VERT.: 1"=5'

STORM SEWER PROFILE

ASHFIELD

WESTFIELD, INDIANA

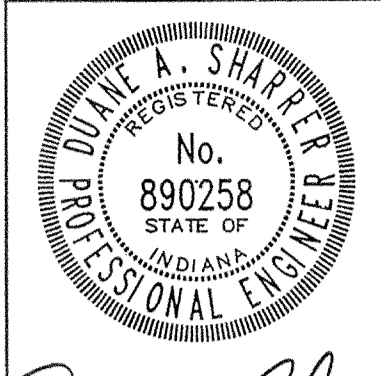
HERITAGE DEVELOPMENT OF INDIANA, LLC

500 South Park Street (Suite 6C), Greenwood, Indiana 46143

DATE: 02/26/2002	PROJECT NO.: 1074.002
DRAWN BY: BGG	CHECKED BY:
SHEET TITLE: STORM SEWER PLAN	
DRAWING FILES: File: R:\1074\002\DWG\C601 XREF: R:\1074\002\dwg\002bs.dwg XREF: R:\1074\002\dwg\storm.dwg	

SHEET NO.: **C601**

RECORD DRAWING CERTIFICATION



CERTIFICATION FOR "RECORD DRAWING"

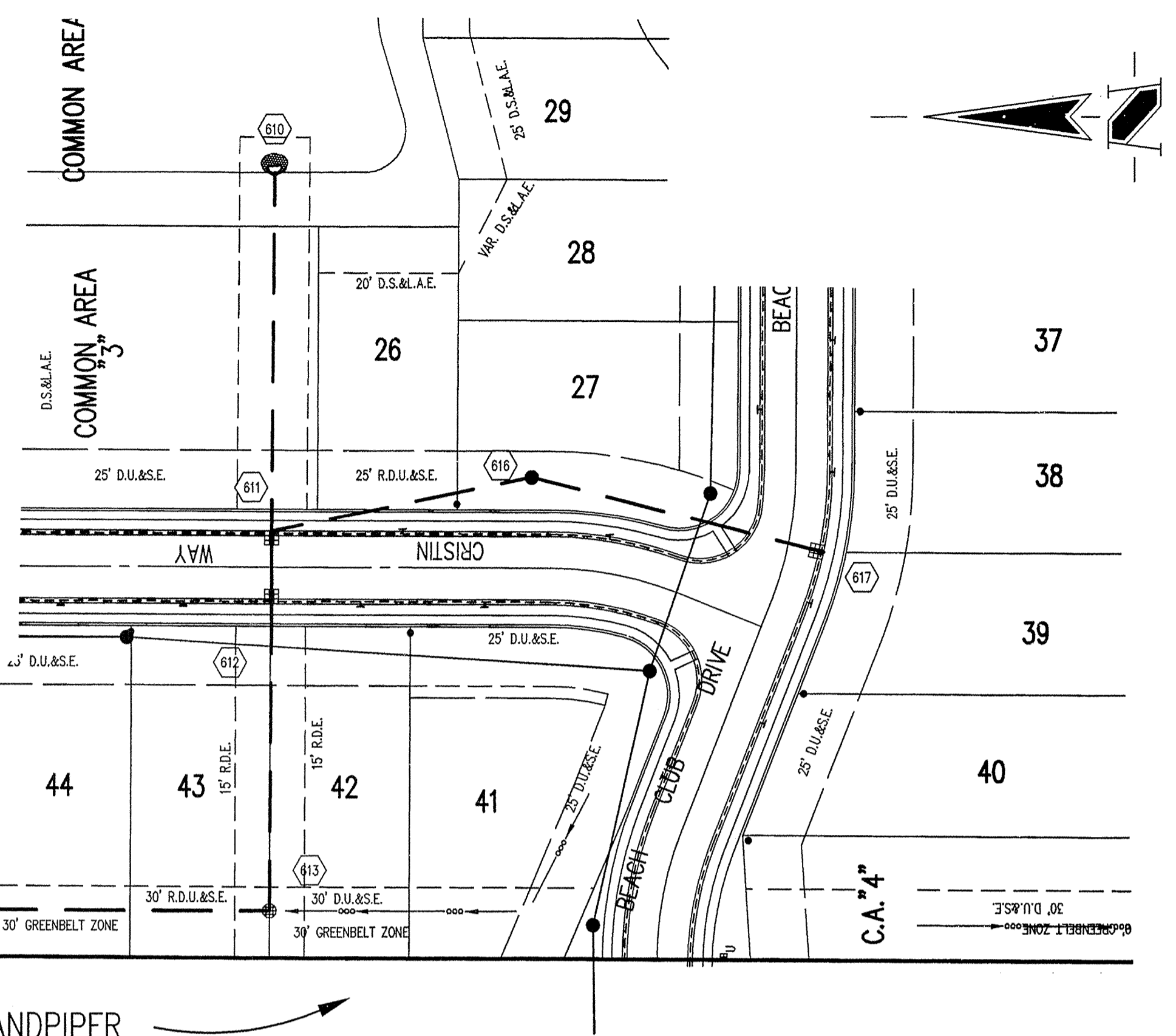
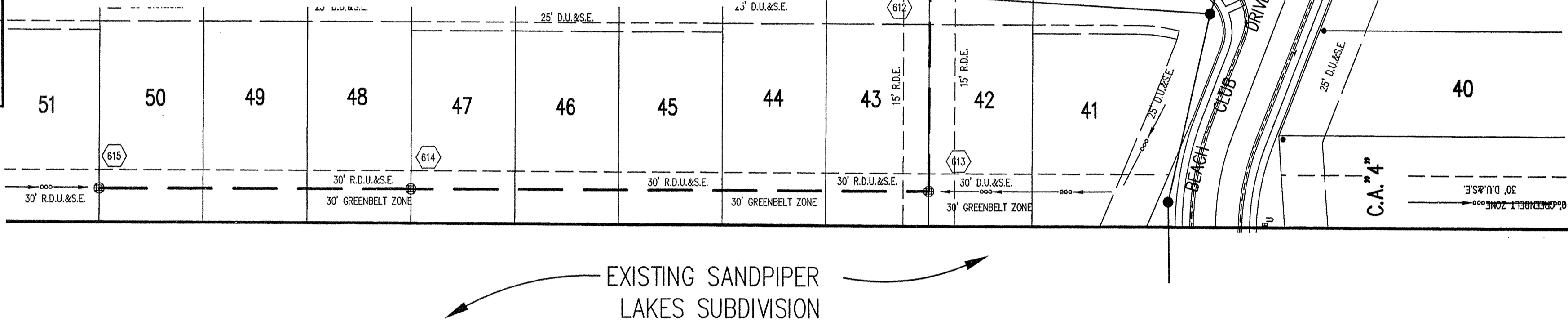
NOTE:
Record drawing certification only for top of casting, invert elevations and lengths of pipe. Slope percentage represents a calculated figure and is for general information only.

DATE: 08/27/03
CERTIFIED BY: *Russell Sharpe*

GENERAL NOTES

1. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
2. ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
3. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL UTILITY LOCATIONS BEFORE CONSTRUCTION BEGINS.
4. CONTRACTORS SHALL MINIMIZE DAMAGE TO EXISTING TREES.

**** NOTE ****
ALL STORM SEWER PIPE AND STRUCTURES ARE WITHIN THE APPROPRIATE EASEMENT.
ALL STORM SEWER PIPE ARE REINFORCED CONCRETE PIPE (RCP). SIZE AS SHOWN ON PLANS.



BENCH MARK:

"HAMILTON 107" DISK IN CONCRETE MONUMENT LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF GRASSY BRANCH ROAD AND CONRAIL.
ELEVATION = 869.42

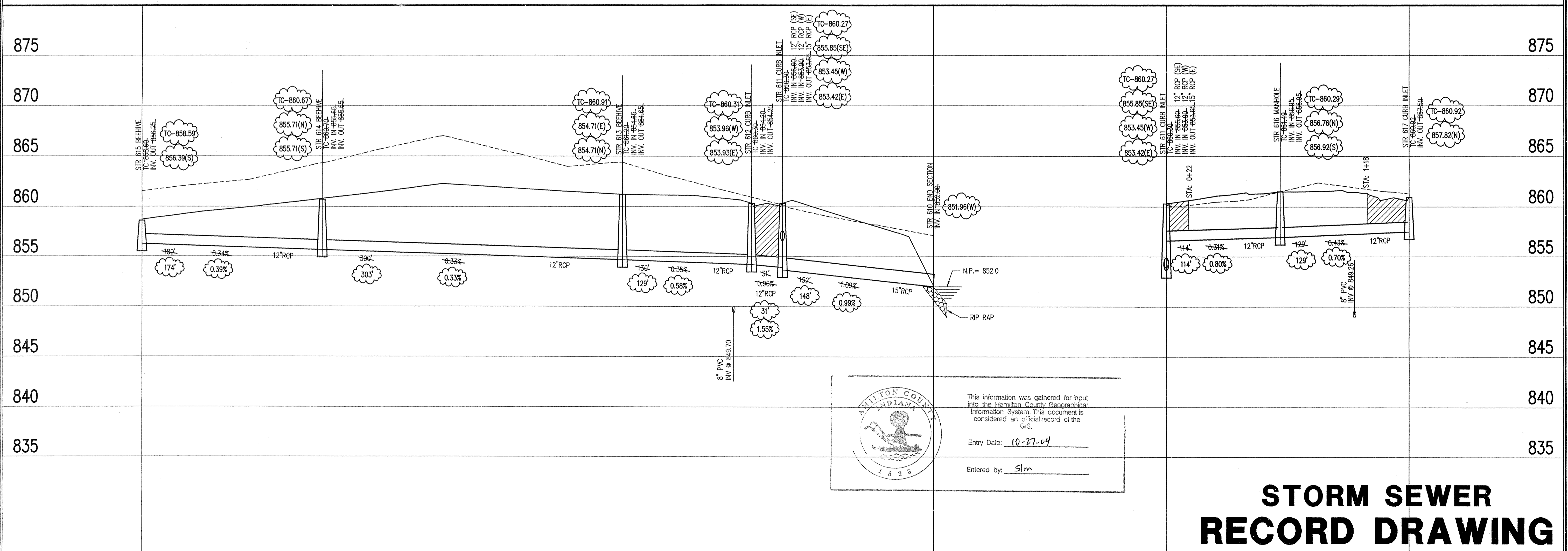
LEGEND/DETAILS

Sheet	Detail	Description
C801	15	Bedding Detail - Reinforced Concrete Pipe (RCP)
C801	4	Roll Curb Inlet
C801	11	Beehive Inlet Detail
C801	9	Storm Manhole Detail
C801	10	Precast Concrete End Section
C106	-	Rip Rap
C802	5	6" PIPE UNDERDRAIN

NOTE: 1. TRASH GUARD TO BE INSTALLED AT ALL END SECTIONS - SEE DETAIL No.1 SHEET C802.

STORM SEWER PLAN

SCALE: 1"=50'



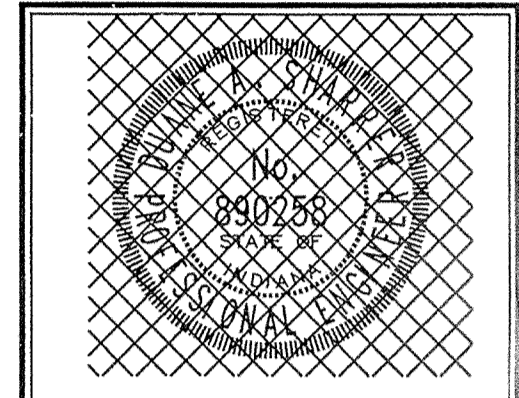
This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.
Entry Date: 10-27-04
Entered by: Slm

STORM SEWER RECORD DRAWING

LEGEND		

SCALE: HORZ.: 1"=50'
VERT.: 1"=5'

HOLEY MOLEY SAYS
"DON'T DIG BLIND"
"IT'S THE LAW"
CALL 2 WORKING DAYS BEFORE YOU DIG
1-800-382-5544
CALL TOLL FREE
PER INDIANA STATE LAW IS-69-1591.
IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.



DATE: 02/26/2002
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DATE: 02/26/2002	PROJECT NO.: 1074.002
DRAWN BY: BGG	CHECKED BY:
SHEET TITLE: STORM SEWER PLAN	
DRAWING FILES: File: R:\1074\002\DWG\CS600 Xref: R:\1074\002\DWG\00225.dwg Xref: R:\1074\002\DWG\storm.dwg	

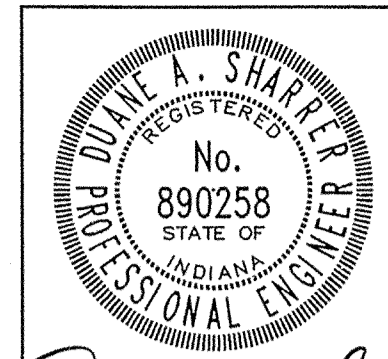
SHEET NO.: **C602**

STORM SEWER PROFILE

GENERAL NOTES

1. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
2. ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
3. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL UTILITY LOCATIONS BEFORE CONSTRUCTION BEGINS.
4. CONTRACTORS SHALL MINIMIZE DAMAGE TO EXISTING TREES.

RECORD DRAWING CERTIFICATION



Duane A. Sharpe
DATE: 08/27/03
CERTIFIED BY:

CERTIFICATION FOR "RECORD DRAWING"

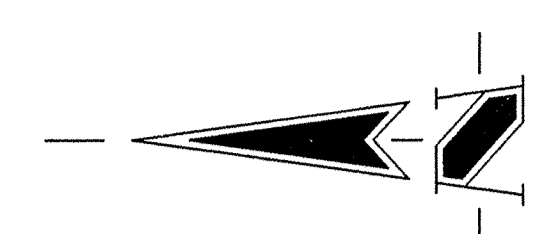
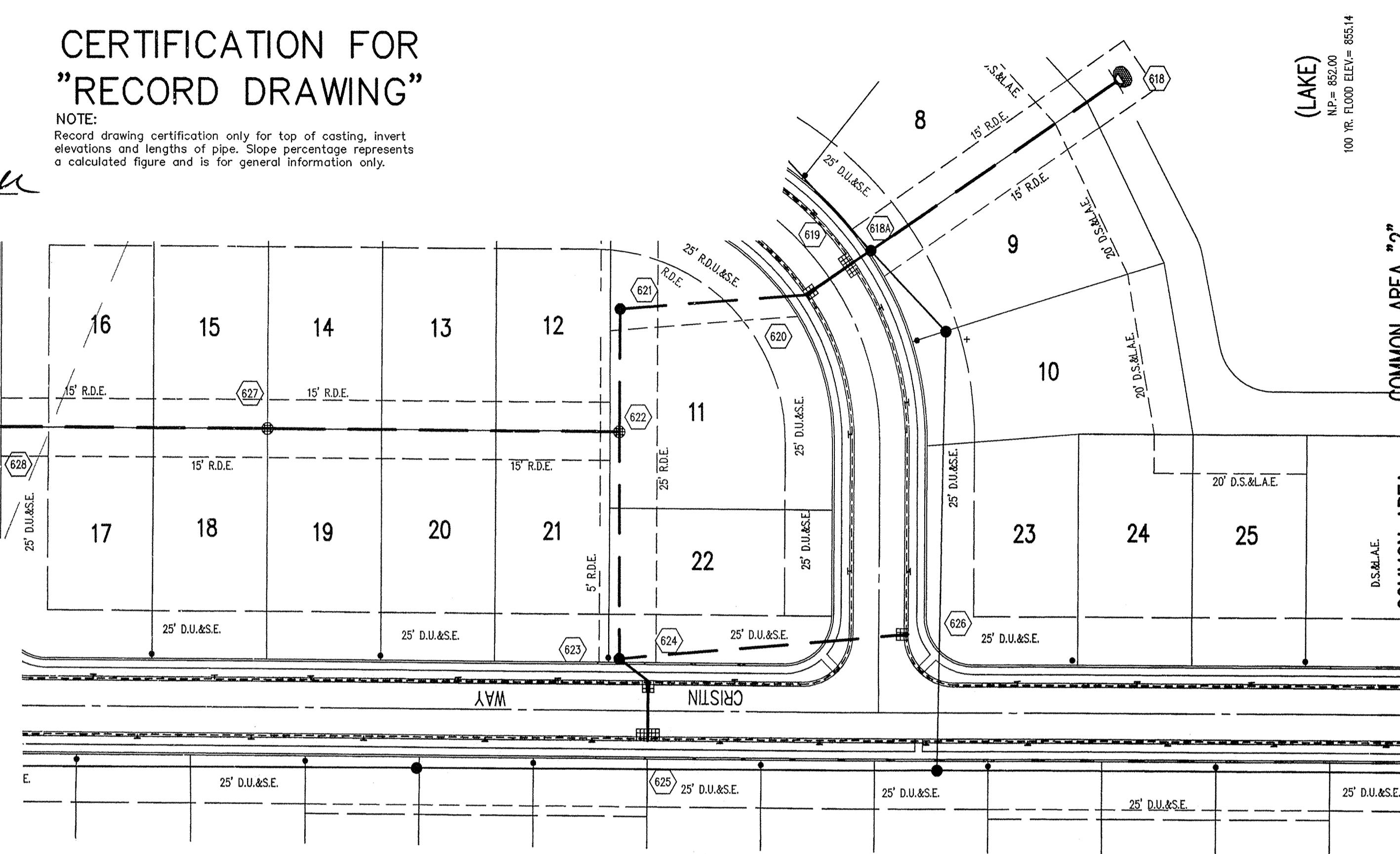
NOTE: Record drawing certification only for top of casing, invert elevations and lengths of pipe. Slope percentage represents a calculated figure and is for general information only.

FOR CONTINUATION SEE SHEET C606

*** * NOTE * ***

ALL STORM SEWER PIPE AND STRUCTURES ARE WITHIN THE APPROPRIATE EASEMENT.

ALL STORM SEWER PIPE ARE REINFORCED CONCRETE PIPE (RCP). SIZE AS SHOWN ON PLANS.



HOLEY MOLEY SAYS "DON'T DIG BLIND"
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PER INDIANA STATE LAW 15-69-1991
IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

BENCH MARK:

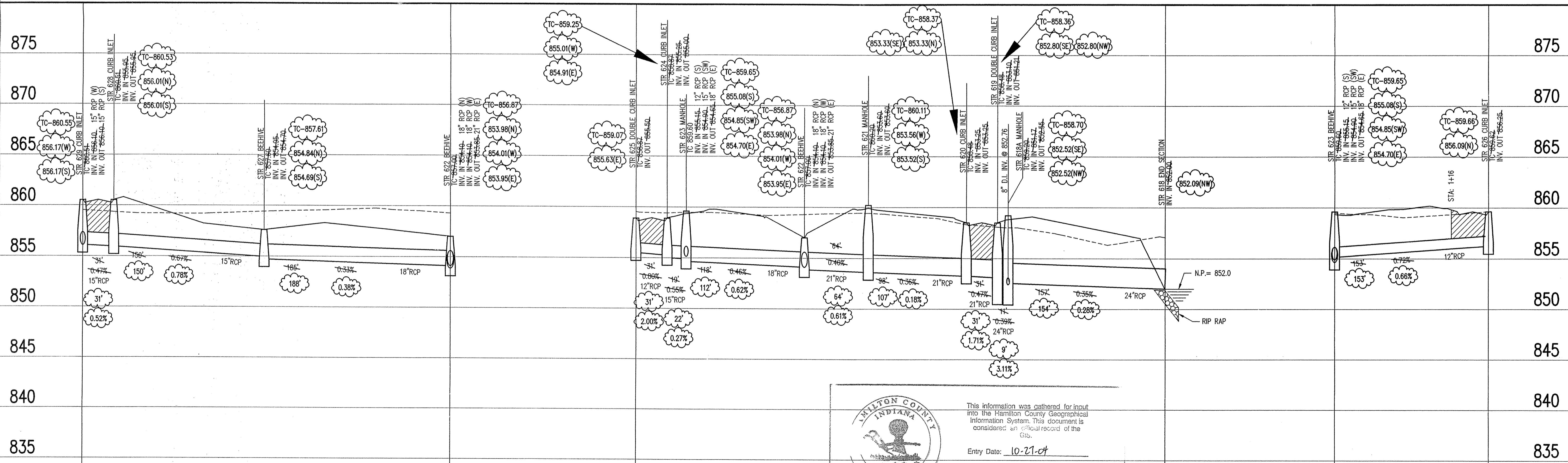
"HAMILTON 107" DISK IN CONCRETE MONUMENT LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF GRASSY BRANCH ROAD AND CONRAIL.
ELEVATION = 869.42

Sheet Number	Detail Number	Description
C801	15	Bedding Detail - Reinforced Concrete Pipe (RCP)
C801	4	Roll Curb Inlet
C801	11	Beehive Inlet Detail
C801	9	Storm Manhole Detail
C801	10	Precast Concrete End Section
C106	-	Rip Rap
C802	5	6" PIPE UNDERDRAIN

NOTE: 1. TRASH GUARD TO BE INSTALLED AT ALL END SECTIONS - SEE DETAIL No.1 SHEET C802.

STORM SEWER PLAN

SCALE: 1"=50'



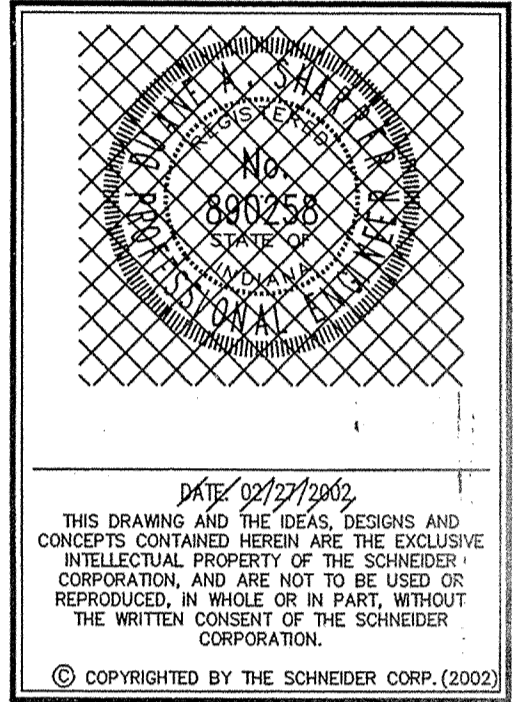
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Entry Date: 10-21-04
Entered by: slm

LEGEND		
	Existing Grade	
	New Grade	
	Granular Backfill	

SCALE: HORZ.: 1"=50'
VERT.: 1"=5'

STORM SEWER RECORD DRAWING

STORM SEWER PROFILE



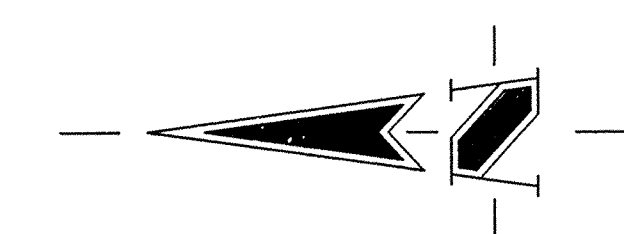
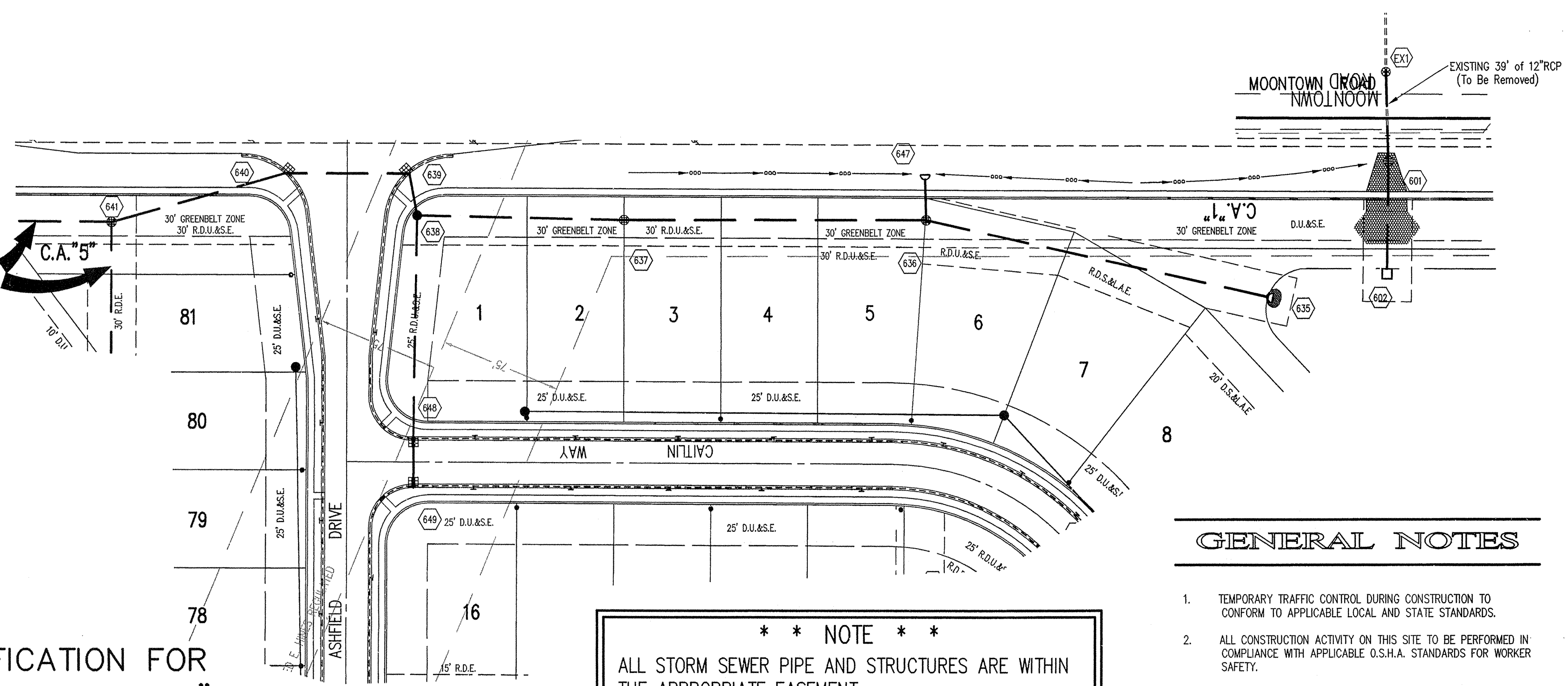
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DATE: 02/26/2002	PROJECT NO.: 1074.002
DRAWN BY: BGG	CHECKED BY:
SHEET TITLE: STORM SEWER PLAN	
DRAWING FILES: File: R:\1074\002\DWG\C600 Xref: R:\1074\002\DWG\C602b.dwg	
SHEET NO.: C603	

FOR CONTINUATION
SEE SHEET C605



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IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

BENCH MARK:

"HAMILTON 107" DISK IN CONCRETE MONUMENT LOCATED AT THE
SOUTHWEST CORNER OF THE INTERSECTION OF GRASSY BRANCH
ROAD AND CONRAL
ELEVATION = 869.42

GENERAL NOTES

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- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL UTILITY LOCATIONS BEFORE CONSTRUCTION BEGINS.
- CONTRACTORS SHALL MINIMIZE DAMAGE TO EXISTING TREES.

*** * NOTE * ***

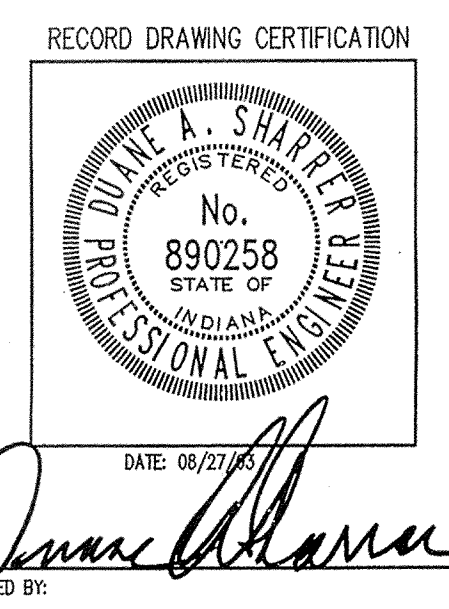
ALL STORM SEWER PIPE AND STRUCTURES ARE WITHIN THE APPROPRIATE EASEMENT.

ALL STORM SEWER PIPE ARE REINFORCED CONCRETE PIPE (RCP). SIZE AS SHOWN ON PLANS.

Sheet	Detail Number	Description
C801	15	Bedding Detail - Reinforced Concrete Pipe (RCP)
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C802	5	6" PIPE UNDERDRAIN

LEGEND/DETAILS

NOTE 1. TRASH GUARD TO BE INSTALLED AT ALL END SECTIONS - SEE DETAIL No.1 SHEET C802.



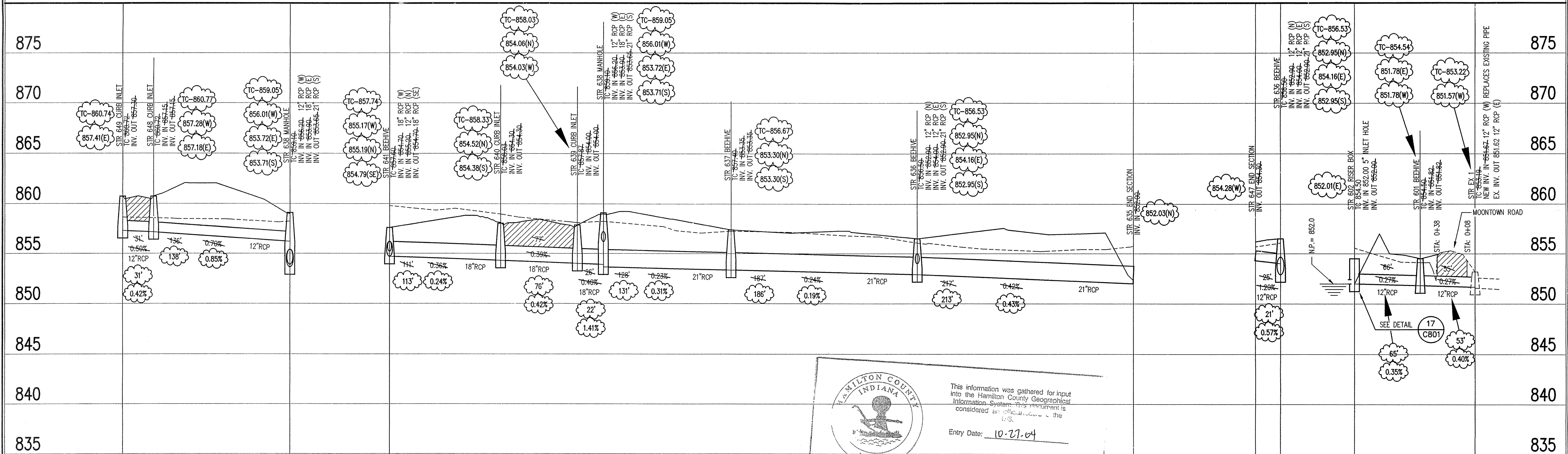
CERTIFICATION FOR "RECORD DRAWING"

NOTE:
Record drawing certification only for top of coating, invert elevations and lengths of pipe. Slope percentage represents a calculated figure and is for general information only.

DATE: 08/27/04
CERTIFIED BY: *Duane A. Sharkey*

STORM SEWER PLAN

SCALE: 1"=50'



HAMILTON COUNTY INDIANA

This information was gathered for input into the Hamilton County Geographical Information System. This information is considered as official information of the county.

Entry Date: 10-27-04
Entered by: Slm

STORM SEWER RECORD DRAWING

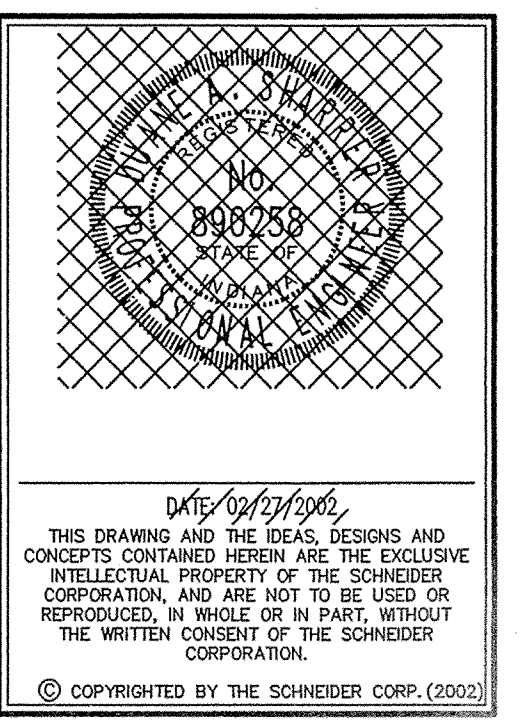
LEGEND

	Existing Grade
	New Grade
	Granular Backfill

SCALE: HORZ.: 1"=50'
VERT.: 1"=5'

STORM SEWER PROFILE

REVISIONS:
1. 06/17/04 REUSE PER SURVEYOR'S COMMENTS.
2. 07/08/03 STORM SEWER RECORD DRAWING.



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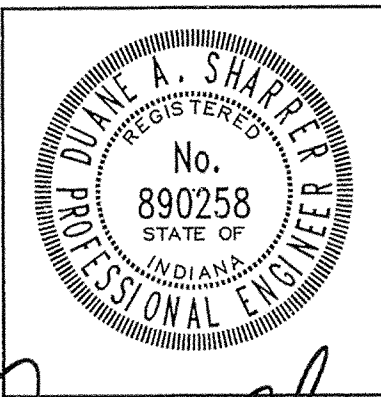
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500 South Polk Street (Suite 60), Greenwood, Indiana 46143

DATE: 02/26/2002	PROJECT NO.: 1074.002
DRAWN BY: BGG	CHECKED BY:
SHEET TITLE: STORM SEWER PLAN	
DRAWING FILES: File: R:\1074\002\DWG\C604.dwg Tref: R:\1074\002\dwg\0020s.dwg	
SHEET NO.: C604	

**** NOTE ****
 ALL STORM SEWER PIPE AND STRUCTURES ARE WITHIN THE APPROPRIATE EASEMENT.
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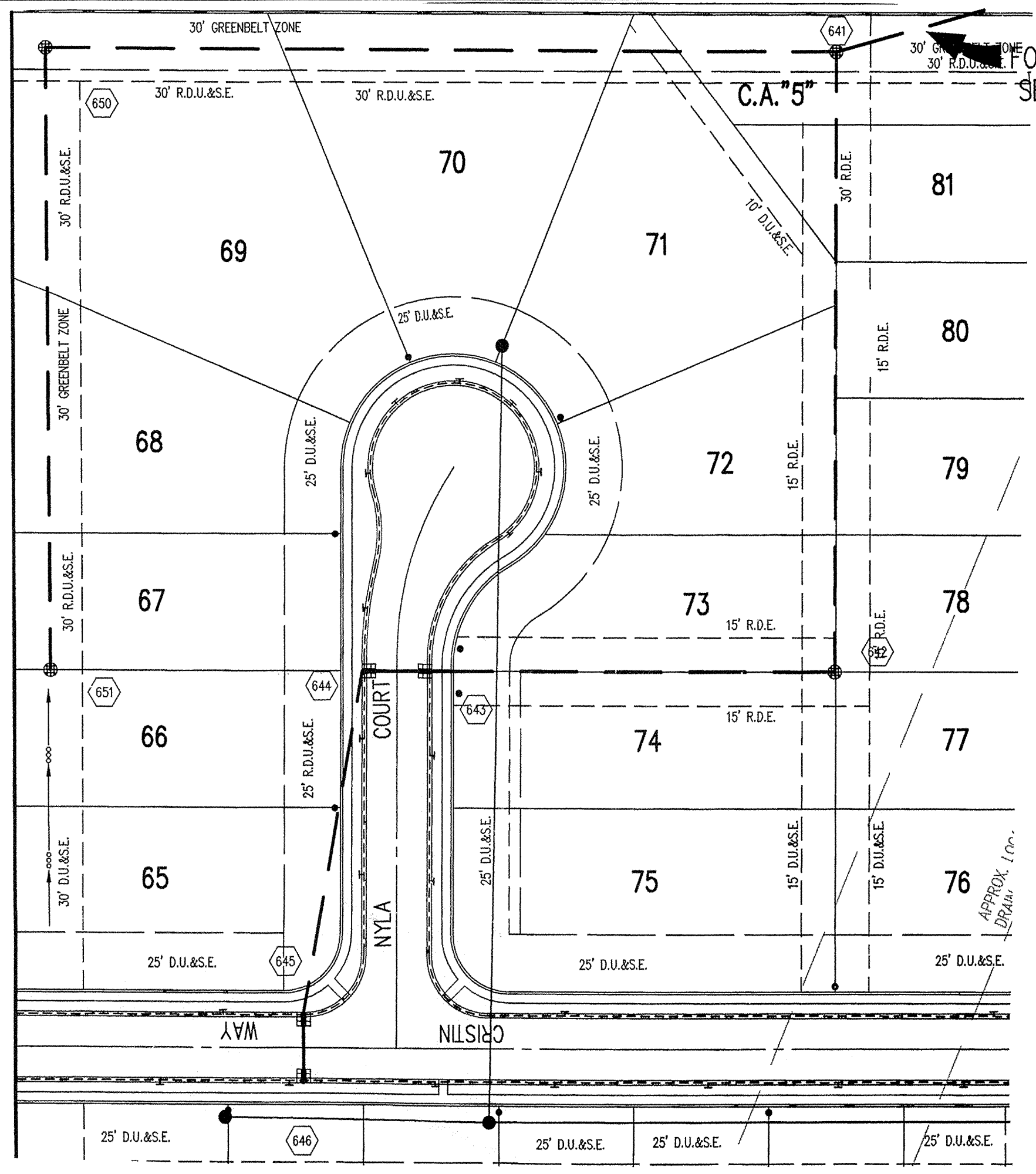
RECORD DRAWING CERTIFICATION



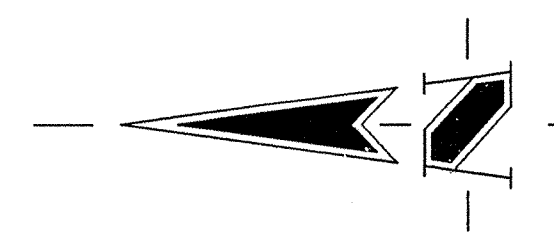
DATE: 08/27/03
 CERTIFIED: *[Signature]*

CERTIFICATION FOR "RECORD DRAWING"

NOTE: Record drawing certification only for top of casing, invert elevations and lengths of pipe. Slope percentage represents a calculated figure and is for general information only.



FOR CONTINUATION SEE SHEET C604



GENERAL NOTES

1. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
2. ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
3. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL UTILITY LOCATIONS BEFORE CONSTRUCTION BEGINS.
4. CONTRACTORS SHALL MINIMIZE DAMAGE TO EXISTING TREES.

HOLEY MOLEY SAYS "DON'T DIG BLIND"
 "IT'S THE LAW"
 CALL 2 WORKING DAYS BEFORE YOU DIG
1-800-382-5544
 CALL TOLL FREE
 PER INDIANA STATE LAW 15-69-1991, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

BENCH MARK:

"HAMILTON 107" DISK IN CONCRETE MONUMENT LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF GRASSY BRANCH ROAD AND CONRAIL.
 ELEVATION = 869.42

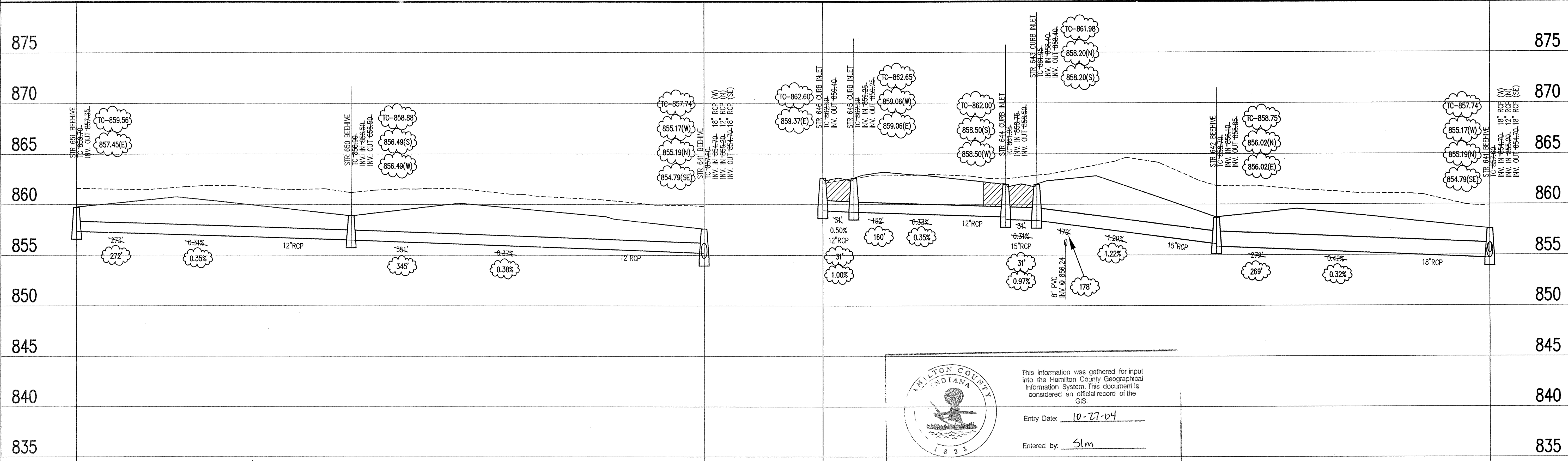
LEGEND/DETAILS

Sheet	Detail Number	Description
C801	15	Bedding Detail - Reinforced Concrete Pipe (RCP)
C801	4	Roll Curb Inlet
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C801	10	Precast Concrete End Section
C106	-	Rip Rap
C802	5	6" PIPE UNDERDRAIN

NOTE: 1. TRASH GUARD TO BE INSTALLED AT ALL END SECTIONS - SEE DETAIL No.1 SHEET C802.

STORM SEWER PLAN

SCALE: 1"=50'



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 Entered by: Slm

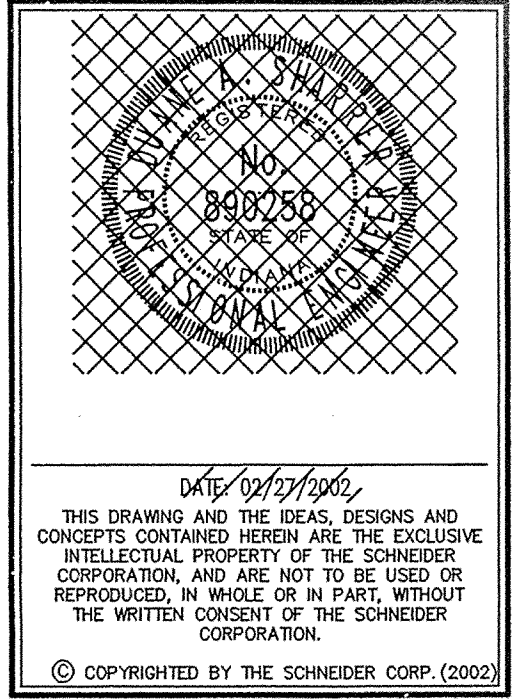
STORM SEWER RECORD DRAWING

SCALE: HORZ.: 1"=50'
 VERT.: 1"=5'

LEGEND

	Existing Grade
	New Grade
	Granular Backfill

REVISIONS:
 1. 05/07/02 REUSE PER SURVEYORS COMMENTS
 2. 07/08/03 STORM SEWER "RECORD DRAWING".



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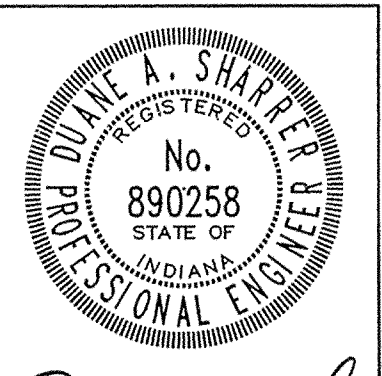
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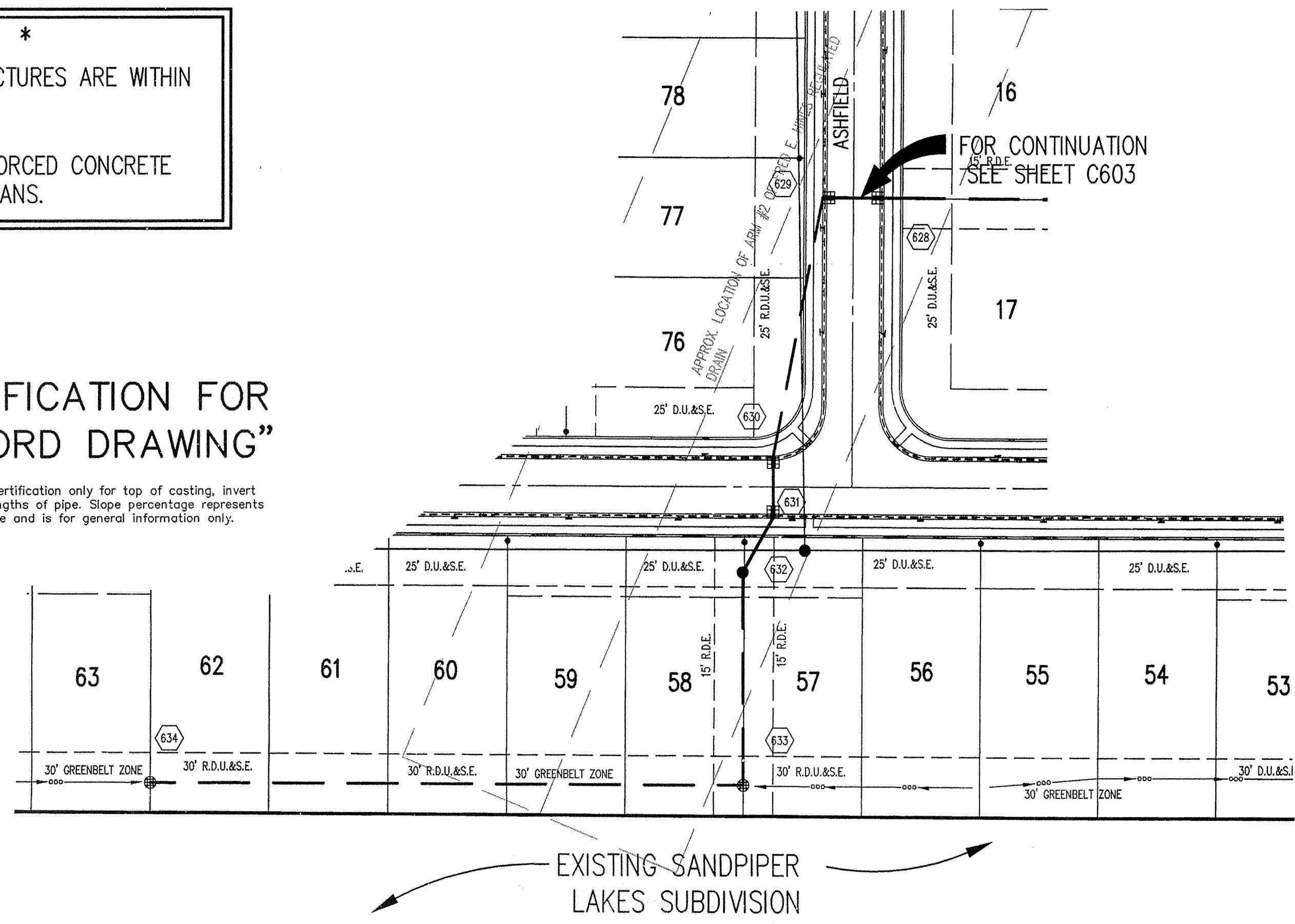
DATE: 02/26/2002	PROJECT NO.: 1074.002
DRAWN BY: BGG	CHECKED BY:
SHEET TITLE: STORM SEWER PLAN	
DRAWING FILES: File: R:\1074\002\DWG\C600 Xref: R:\1074\002\dwg\0102s.dwg	
SHEET NO.: C605	

STORM SEWER PROFILE

**** NOTE ****
 ALL STORM SEWER PIPE AND STRUCTURES ARE WITHIN THE APPROPRIATE EASEMENT.
 ALL STORM SEWER PIPE ARE REINFORCED CONCRETE PIPE (RCP). SIZE AS SHOWN ON PLANS.

RECORD DRAWING CERTIFICATION

 CERTIFIED BY: *Duane A. Shaffer*
 DATE: 08/27/03

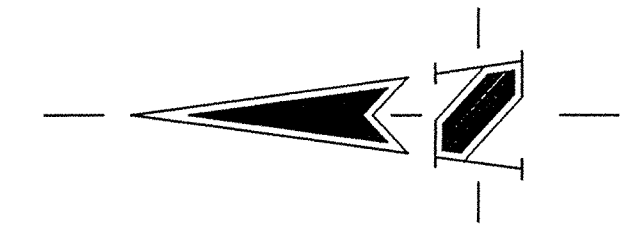
CERTIFICATION FOR "RECORD DRAWING"
 NOTE:
 Record drawing certification only for top of casting, invert elevations and lengths of pipe. Slope percentage represents a calculated figure and is for general information only.



FOR CONTINUATION
 SEE SHEET C603

GENERAL NOTES

- TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
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1-800-382-5544
 CALL TOLL FREE
 PER INDIANA STATE LAW 15-59-1991,
 IT IS AGAINST THE LAW TO EXCAVATE
 WITHOUT NOTIFYING THE UNDERGROUND
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 DAYS BEFORE COMMENCING WORK.

BENCH MARK:

"HAMILTON 107" DISK IN CONCRETE MONUMENT LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF GRASSY BRANCH ROAD AND CONRAIL.
 ELEVATION = 869.42

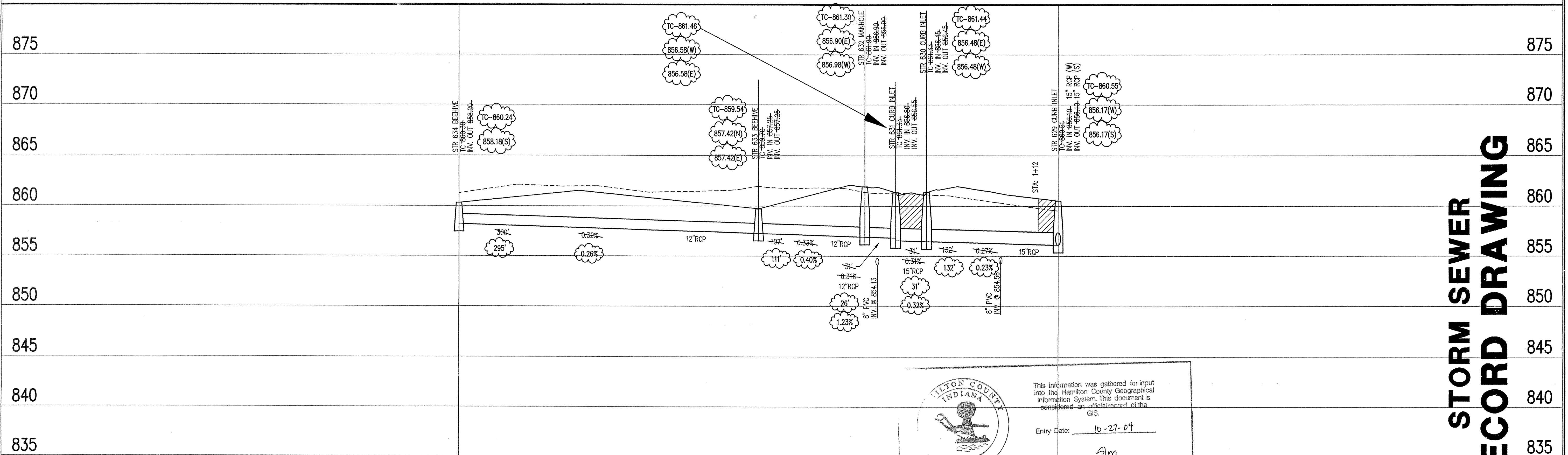
Sheet Number	Detail Number	Description
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C801	10	Precast Concrete End Section
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C802	5	6" PIPE UNDERDRAIN

NOTE: 1. TRASH GUARD TO BE INSTALLED AT ALL END SECTIONS - SEE DETAIL No.1 SHEET C802.

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STORM SEWER PLAN

SCALE: 1"=50'



STORM SEWER RECORD DRAWING

ILTON COUNTY INDIANA
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 Entry Date: 10-27-04
 Entered by: sm

LEGEND

	Existing Grade
	New Grade
	Granular Backfill

SCALE: HORZ.: 1"=50'
 VERT.: 1"=5'

STORM SEWER PROFILE

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DATE: 02/26/2002 PROJECT NO.: 1074.002
 DRAWN BY: BGG CHECKED BY:
 SHEET TITLE: STORM SEWER PLAN
 DRAWING FILES:
 File: R:\074\002\DWG\C600
 Xref: R:\074\002\dwg\002b.dwg
 SHEET NO.: C606

MOONTOWN ROAD

MOONTOWN ROAD

MOONTOWN ROAD

ASSUMED NORTH
SCALE: 1" = 50'

HOLEY MOLEY SAYS
"DON'T
DIG
BLIND"
"IT'S THE LAW"
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CALL TOLL FREE
PER INDIANA STATE LAW (6-69-1991)
IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
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DAYS BEFORE COMMENCING WORK.

BENCH MARK:

"HAMILTON 107" DISK IN CONCRETE MONUMENT LOCATED AT THE
SOUTHWEST CORNER OF THE INTERSECTION OF GRASSY BRANCH
ROAD AND CONRAIL
ELEVATION = 869.42

LEGEND

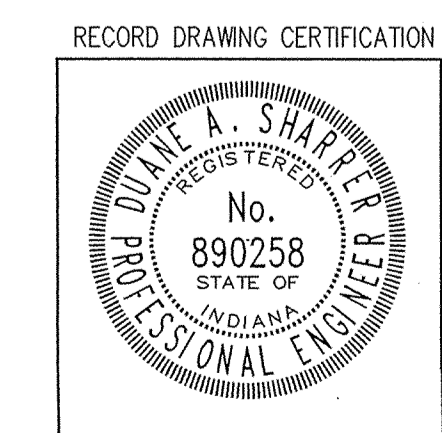
- Existing Storm Sewer
- New Storm Sewer
- - - 6" Subsurface Drain w/Connection
- Existing Sanitary Sewer
- New Sanitary Sewer
- Existing Contour

GENERAL NOTES

1. ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
2. IT SHALL BE THE RESPONSIBILITY OF EACH SUBCONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND CONDITIONS PERTAINING TO HIS PHASE OF WORK. IT SHALL ALSO BE THE SUBCONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNERS OF THE VARIOUS UTILITIES FOR PROPER STAKE LOCATION OF EACH UTILITY BEFORE WORK IS STARTED. THE SUBCONTRACTOR SHALL NOTIFY IN WRITING THE OWNER AND THE ENGINEER OF ANY CHANGES, OMISSIONS, OR ERRORS FOUND ON THESE PLANS OR IN THE FIELD BEFORE WORK IS STARTED OR RESUMED.
3. STANDARD SPECIFICATIONS FOR THE TOWN OF WESTFIELD SHALL APPLY FOR ALL WATER AND SANITARY SEWERS.
4. ANY PART OF THE SANITARY OR STORM SEWER TRENCHES RUNNING UNDER PAVED AREAS TO BE BACKFILLED WITH GRANULAR MATERIAL.
5. THE SIZE AND LOCATION OF EXISTING UTILITIES SHOWN ARE PER INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES. ALL UTILITY COMPANIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION FOR FIELD LOCATION OF SERVICES.
6. SERVICE WALKS SHALL BE NON-REINFORCED CONCRETE 4" THICK AND 4' IN WIDTH.
7. 4' CONCRETE SERVICE WALK ACROSS FRONTAGE OF EACH LOT TO BE CONSTRUCTED BY OTHERS.
8. EXPANSION JOINTS ARE TO BE PLACED AT ALL WALK INTERSECTION AND BETWEEN WALKS AND PLATFORMS. SIDEWALK SCORES ARE TO BE EQUALLY SPACED BETWEEN EXPANSION JOINTS. CONTRACTION JOINTS AND PERPENDICULAR SIDEWALKS AT 5' INTERVALS OR LESS WITH A CONTRACTION JOINT EVERY 20' OR LESS.
9. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
10. ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
11. CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
12. ALL SUBSURFACE DRAINS ARE TO BE 6" MINIMUM.

**CERTIFICATION FOR
"RECORD DRAWING"**

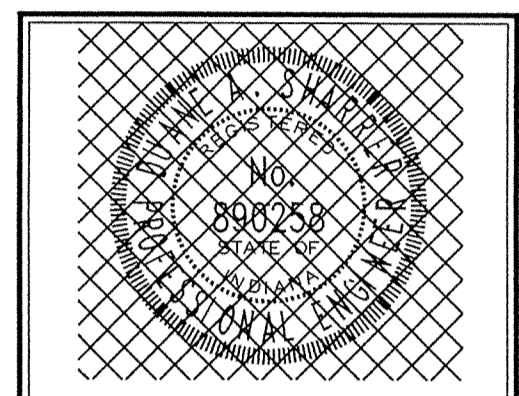
NOTE:
Record drawing certification for sub-surface drain lateral
marker locations only.



DATE: 12/19/03
CERTIFIED BY: *Russell Shaper*

FOR CONTINUATION SEE SHEET SSD2

REVISIONS:
1. 12/19/03 SUB-SURFACE DRAIN "RECORD DRAWING".



DATE: 12/19/03
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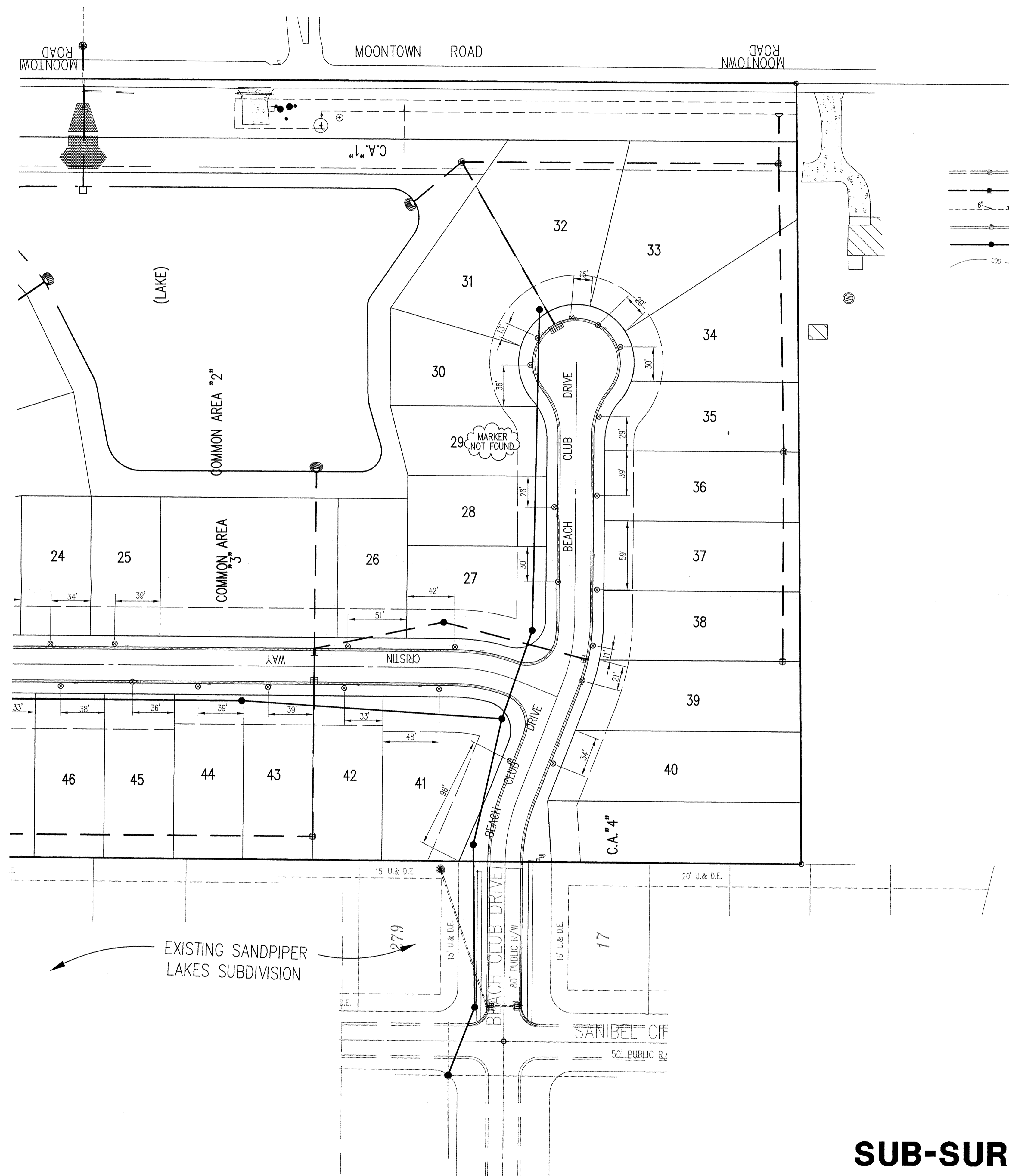
THE SCHNEIDER CORPORATION
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Telephone: 317.826.7100
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500 South Polk Street (Suite 60), Greenwood, Indiana 46143

**SUB-SURFACE DRAIN
RECORD DRAWING**

FOR CONTINUATION SEE SHEET SSD1



- LEGEND**
- Existing Storm Sewer
 - New Storm Sewer
 - 6" Subsurface Drain w/Connection
 - Existing Sanitary Sewer
 - New Sanitary Sewer
 - Existing Contour

ASSUMED NORTH
SCALE: 1" = 50'

BENCHMARK:
"HAMILTON 107" DISK IN CONCRETE MONUMENT LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF GRASSY BRANCH ROAD AND CONRAIL.
ELEVATION = 869.42

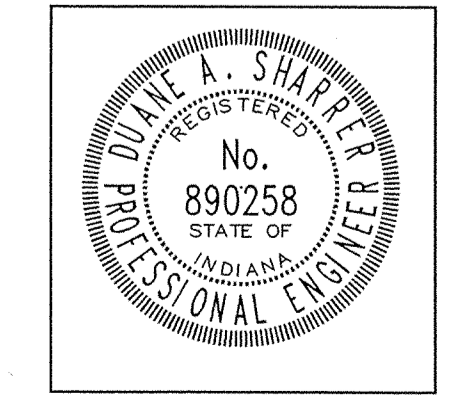
GENERAL NOTES

1. ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
2. IT SHALL BE THE RESPONSIBILITY OF EACH SUBCONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND CONDITIONS PERTAINING TO HIS PHASE OF WORK. IT SHALL ALSO BE THE SUBCONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNERS OF THE VARIOUS UTILITIES FOR PROPER STAKE LOCATION OF EACH UTILITY BEFORE WORK IS STARTED. THE SUBCONTRACTOR SHALL NOTIFY IN WRITING THE OWNER AND THE ENGINEER OF ANY CHANGES, OMISSIONS, OR ERRORS FOUND ON THESE PLANS OR IN THE FIELD BEFORE WORK IS STARTED OR RESUMED.
3. STANDARD SPECIFICATIONS FOR THE TOWN OF WESTFIELD SHALL APPLY FOR ALL WATER AND SANITARY SEWERS.
4. ANY PART OF THE SANITARY OR STORM SEWER TRENCHES RUNNING UNDER PAVED AREAS TO BE BACKFILLED WITH GRANULAR MATERIAL.
5. THE SIZE AND LOCATION OF EXISTING UTILITIES SHOWN ARE PER INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES. ALL UTILITY COMPANIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION FOR FIELD LOCATION OF SERVICES.
6. SERVICE WALKS SHALL BE NON-REINFORCED CONCRETE 4" THICK AND 4' IN WIDTH.
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11. CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
12. ALL SUBSURFACE DRAINS ARE TO BE 6" MINIMUM.

CERTIFICATION FOR "RECORD DRAWING"

NOTE:
Record drawing certification for sub-surface drain lateral marker locations only.

RECORD DRAWING CERTIFICATION



DATE: 12/19/03
CERTIFIED BY: *Diane A. Shaker*

SUB-SURFACE DRAIN RECORD DRAWING

HOLEY MOLEY SAYS
"DON'T DIG BLIND"

"IT'S THE LAW"
CALL 2 WORKING DAYS BEFORE YOU DIG
1-800-382-5544
CALL TOLL FREE
PER INDIANA STATE LAW 15-69-1991,
IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

REVISIONS:
1. 12/19/03 SUB-SURFACE DRAIN "RECORD DRAWING".

DATE: 02/26/2002
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500 South Polk Street (Suite 6C), Greenwood, Indiana 46143

DATE: 02/26/2002 PROJECT NO.: 1074.002
DRAWN BY: TSC CHECKED BY:
SHEET TITLE: SUB-SURFACE DRAIN RECORD DRAWING
DRAWING FILES:
File: R:\1074\002\DWGS\SSD1-2
Xref: R:\1074\002\DWGS\002S.DWG
Xref: R:\1074\DWGS\014\1074.DWG
Xref: R:\1074\002\DWGS\TITLE1
SHEET NO.:
SSD2